



J. Ryan McMahon, II
COUNTY EXECUTIVE

Onondaga County Planning Board

MEETING AGENDA

Wednesday, January 28, 2026
11:00 AM

- I. Call To Order
- II. Approval of minutes from previous meeting date of: 01/07/2026
- III. Other Business
- IV. Actions on GML Section 239 Referrals to the County Planning Board
- V. Administrative & Informal Reviews
- VI. Adjourn

INDEX

PAGE	CASE #	Applicant	Type of Action	Municipality
1	Z-26-10	The Summit Federal Credit Union	SPECIAL PERMIT	Town of Clay
6	Z-26-11	Wetzel Road Storage Project	SPECIAL PERMIT	Town of Clay
10	Z-26-12	Long Branch Storage Project	SPECIAL PERMIT	Town of Clay
14	Z-26-15	Wetzel BESS A&B	SITE PLAN	Town of Clay
18	Z-26-16	Wetzel BESS A&B	SPECIAL PERMIT	Town of Clay
22	Z-26-25	Matthew Peirson	SITE PLAN	Town of Van Buren
26	Z-26-26	Matthew Peirson	SPECIAL PERMIT	Town of Van Buren
30	Z-26-9	The Summit Federal Credit Union	ZONE CHANGE	Town of Clay
35	S-26-1	The Summit Federal Credit Union	SUBDIVISION	Town of Clay
40	Z-26-14	Roland & LuAnn Burke	ZONE CHANGE	Town of Cicero
44	Z-26-22	Robert Loring	SITE PLAN	Village of Liverpool
49	Z-26-23	Robert Loring	SPECIAL PERMIT	Village of Liverpool
54	Z-26-20	Commerce Boulevard Stor-Haus, Ltd.	SITE PLAN	Town of Salina
58	Z-26-21	Liverpool Fire Department / Mark Pearson	SITE PLAN	Village of Liverpool
62	Z-26-27	Fouad Dietz (LeMoyne College)	SITE PLAN	Town of DeWitt

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-10

Case Number: **Z-26-10**

RelatedCases: Z-26-9 S-26-1

Referring Board: Town of Clay Town Board

Type of Action: SPECIAL PERMIT

Keyword: Summit Federal Credit Union

Applicant: The Summit Federal Credit Union

Location: at 4955 West Taft Road

Tax Map ID: 107.-14-26.1, 107.-14-27.1

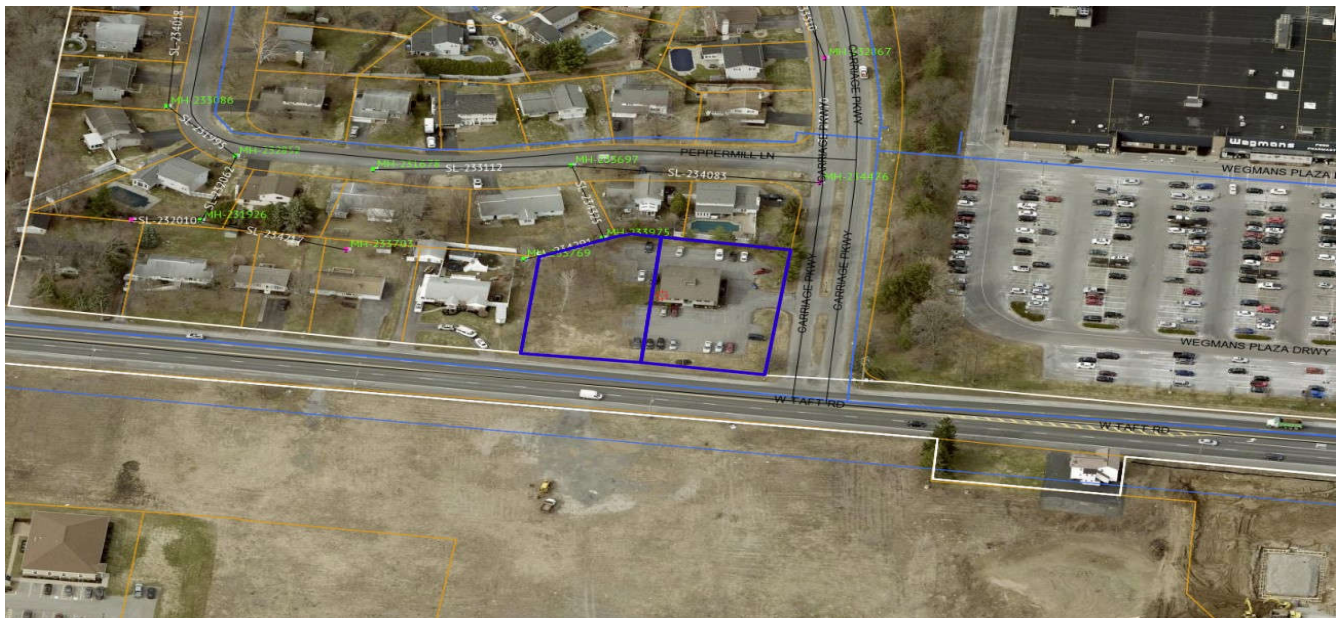
RECOMMENDATION: **Modification**

JURISDICTION:

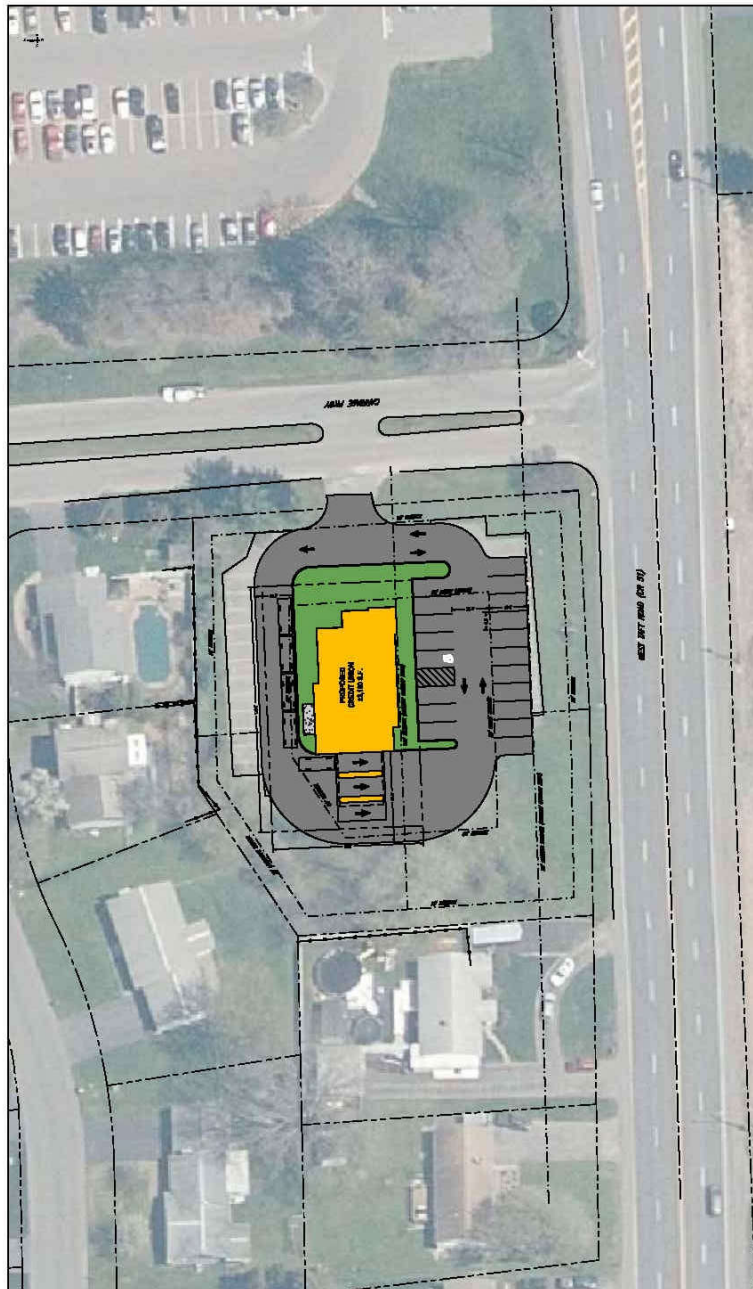
General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of West Taft Road (Route 51), a county highway

SUMMARY:

the applicant is requesting two special permits to allow the construction of a credit union (one for drive-thru service and one for credit union/bank use) on two parcels totaling 1.07 acres in a proposed Office (O-2) zoning district



Z-26-10



TAFT ROAD BRANCH CONCEPTUAL SITE PLAN
THE SUMMIT FEDERAL CREDIT UNION

SWBR

STAFF REVIEW:

Past Board Reviews: Site plan referral (Z-06-282) to construct a 2,439 sf office building on site. The Board held No Position.

Concurrent Reviews: Zone change and subdivision referrals (Z-26-9 and S-26-1).

Nearby Uses/Setting: The site is located along West Taft Road, County Route 51, with additional access along Carriage Parkway, a local road. The site is across Carriage Parkway from Wegmans and is part of the Merrill Farms subdivision. The Taft Road corridor through this area is characterized by a mixture of commercial businesses along main roads, and is surrounded by residential neighborhoods. Adjacent parcels contain residential uses.

Existing Site Layout: The site is comprised of two parcels located on West Taft Road, a vacant western parcel and an eastern parcel currently containing an office building (to be demolished) with a driveway to Carriage Parkway.

Proposed Site Layout: Per the Lot Nos. 1 & 2 Taft Road Professional Office Park Map dated 12/15/2017, the two parcels comprising the site will be combined into a new 1.02-acre lot.

Current Zoning: Per the Town Zoning Map dated 12/2017, the site is in an O-1 (Neighborhood Office) zoning district. Residential parcels to the west and north (rear) of the site are zoned R-7.5 (One-Family Residential District), the adjacent Wegmans Plaza is zoned RC-1 (Regional Commercial), and the Pinecrest Apartment Complex to the rear of the plaza is zoned R-Apt (Apartment District).

Proposed Zoning: The applicant requests a zone change from O-1 (Neighborhood Office District) to O-2 (Office) to allow the proposed credit union. Per Town Code, the O-2 district is intended “to preserve the existing residential quality along portions of major roads within the Town. It shall also respect the general character of the surrounding area while permitting alternative and compatible office development on selected parcels that are not suitable for residential use. This district shall emphasize the scale and design of any proposed office uses to ensure compatibility with the existing planned residential development.”

Uses permitted within O-2 include office buildings and instructional facilities, day-care centers, and libraries with special permit approval, and emergency vehicle stations, banks/credit unions, medical offices, and drive-thru service with a special permit approved by the Town Board.

Other: The applicant is requesting two special permits to allow the proposed credit union in an O-2 zoning district and to allow drive-thru service.

Proposed Site Layout: Per the Taft Road Branch Conceptual Site Plan (undated), the existing building will be demolished to allow construction of the proposed 3,100 sf credit union. The Conceptual Plan depicts the drive-thru queue along the rear of the building and a three-lane drive-thru with bypass lane along the western side of the building. A 19-space parking lot will be located between the building and the West Taft Road frontage.

ADVISORY NOTE: Per the Onondaga County Department of Water Environment

Protection, any and all demolition of buildings requires a permit for sewer disconnects. The applicant must contact Plumbing Control to ensure appropriate permits are obtained.

Landscaping: Per the Taft Road Branch – Concept 2 Plan (undated), it appears landscape screening will be located along the rear and side site boundaries, between the site and adjacent residential parcels. Plant or tree varieties are not specified.

Access: Per the Taft Road Branch Conceptual Site Plan (undated), proposed access to the credit union will utilize the existing site access to Carriage Parkway, a local road.
ADVISORY NOTE: Per the Onondaga County Department of Transportation, additional access to West Taft Road will be permitted.

Drinking Water: A new connection to public drinking water is proposed for the new building.
ADVISORY NOTE: OCWA's Engineering Department requires the applicant to contact them to determine water availability and service options, obtain hydrograph test information, evaluate backflow prevention requirements, and/or request the Authority conduct hydrant flow testing to assess fire flow availability.

Wastewater: A new connection to public sewers is proposed for the new building and the building is located in the Oak Orchard Wastewater Treatment Plant and Davis Road Flow Station service areas.
ADVISORY NOTE: The Onondaga County Department of Water Environmental Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project. The applicant must coordinate with the municipal engineer. The Capacity Assurance Form and the approval process can now be found online: <http://ongov.net/wep/connection>

Easements: Per the Taft Road Professional Office Park Map, a 15'-wide sanitary sewer easement occurs at the rear of the western parcel, extending to the rear of the existing building. A 25' and 20'-wide Ingress & Egress Easement is located along the site's driveway to Carriage Parkway and extends through the front parking lot.
ADVISORY NOTE: Per the Onondaga County Department of Water Environmental Protection (WEP), no permanent structures are permitted within the County easement. Any other work within the County easement must be coordinated with WEP.

Bike/Ped/Transit: The Syracuse Metropolitan Transportation Council (SMTTC) has created a Sustainable Streets Guide, which includes the identification of priority sidewalk zones where the installation of sidewalks would be most beneficial. This site is located within a priority zone.

Per aerial imagery from May 2024, there are no sidewalks along Carriage Parkway or West Taft Road.

Bike/Ped/Transit: Per the Central New York Regional Transportation Authority (CENTRO), West Taft Road has public transit service and bus stops are located on West Taft Road adjacent to the site.

Other: The project is within 2,000 feet of a site (ID: 734051) in the NYS Department of Environmental Conservation's (DEC) Statewide Inventory of Sites (SIS).

Environmental Conservation Environmental Site Remediation database (per EAF Mapper).

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-11

Case Number: **Z-26-11**

RelatedCases:

Referring Board: Town of Clay Town Board

Type of Action: SPECIAL PERMIT

Keyword: Battery Energy Storage System (B

Applicant: Wetzel Road Storage Project

Location: at 4664 Wetzel Road

Tax Map ID: 087.-01-12.0

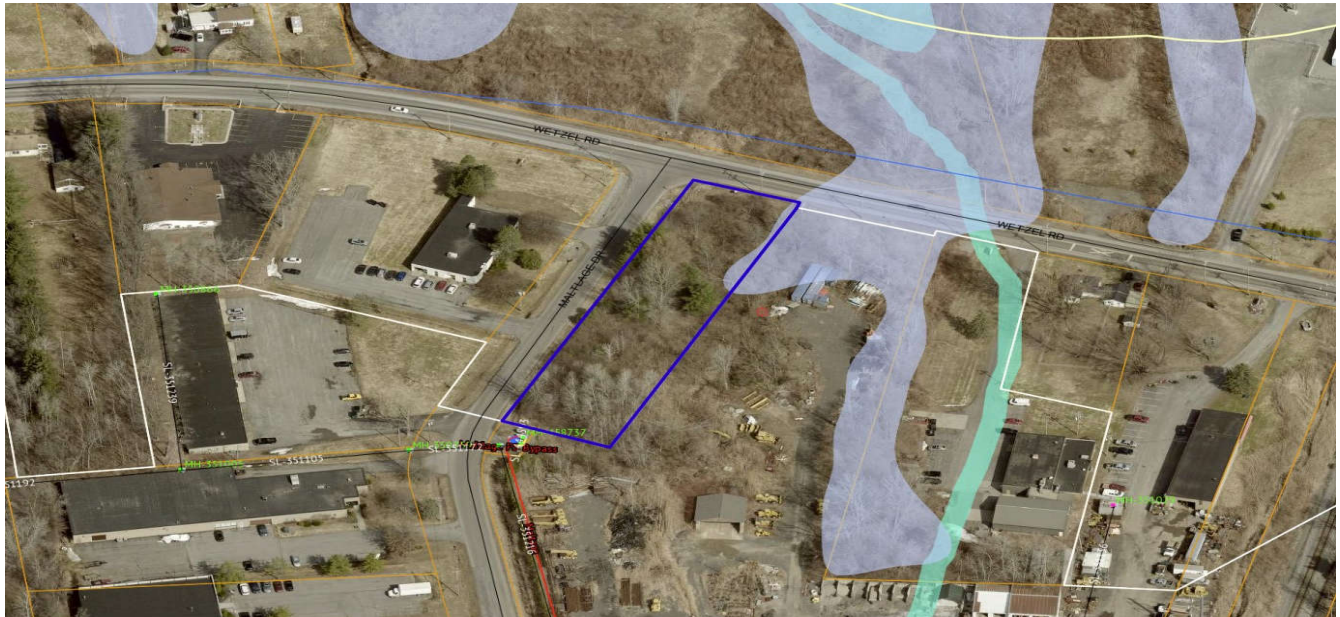
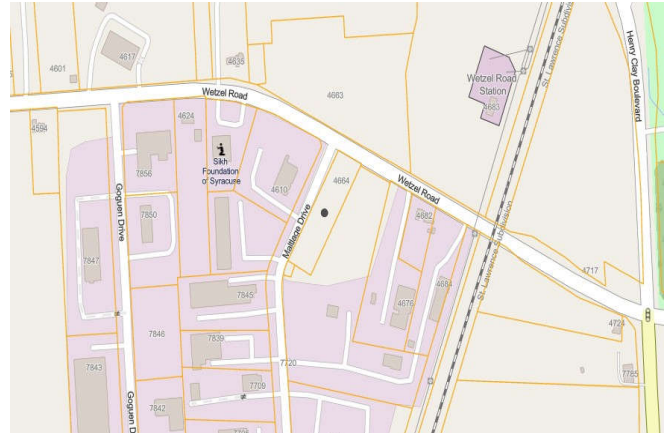
RECOMMENDATION: **Modification**

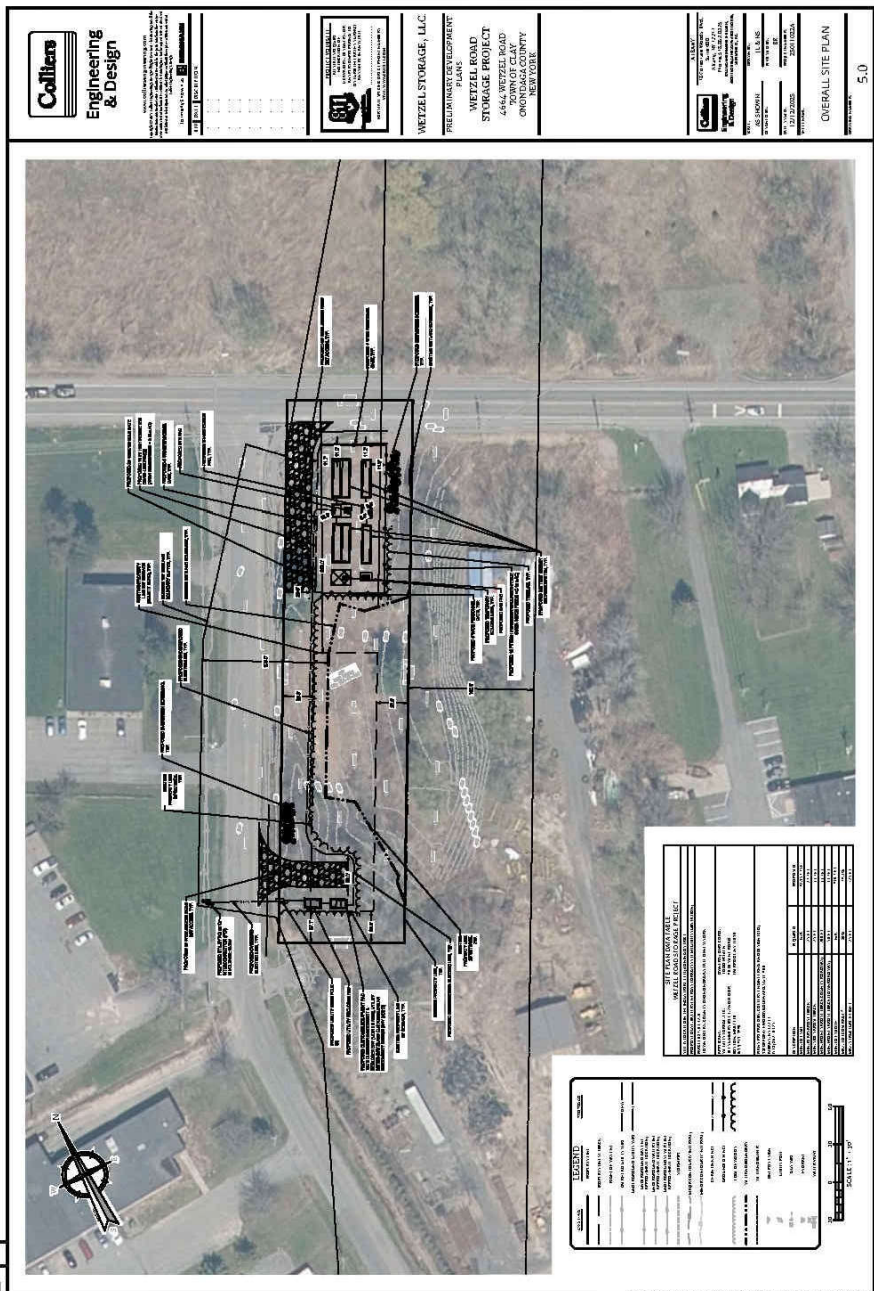
JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of Wetzel Road (Route 252), a county highway

SUMMARY:

the applicant is requesting a special permit to allow a 500kW battery energy storage system (BESS) on a portion of a 0.99-acre parcel in an Industrial (I-1) zoning district





STAFF REVIEW:

Past Board Reviews:	The Board previously offered No Position with Comment on area variance and special permit referrals (Z-21-306, Z-21-307) to allow construction of a 60' building and establish a contractor's service yard on site, encouraging the applicant to contact the Onondaga County Department of Water Environment Protection (OCDWEP) to discuss sewer availability and capacity.
Concurrent Reviews:	The Board is currently reviewing site plan and special permit referrals for a Energy Storage System (BESS) proposed to be located less than 500' from current site (Z-26-15, Z-26-16).
Nearby Uses/Setting:	The site is located along Wetzel Road, a county road, located in Woodard Park. Surrounding land uses are a mix of industrial and commercial structures, a rail line, and vacant forested land. The closest residential parcel is located approximately 200' away.
Existing Site Layout:	The site is located at the southeast corner of Wetzel Road, a county road, and Maltlage Drive, a local road. Per aerial imagery from May 2024, the site appears to be vacant, containing trees and shrubbery.
Project Detail:	<p>The applicant is requesting a special permit to allow a BESS to be installed. Per the referral the applicant will install a BESS "utilizing Tesla Megapack batteries and an interconnection to the National Grid distribution system."</p> <p>Per the "Battery Energy Storage Memorandum", the applicant proposes a 5 AC/23,051 kWh system composed of 6 Tesla Megapack 2XLs which are capable of discharging 5,000 kW daily for four hours."</p>
Proposed Site Layout:	Per the Overall Site Plan dated 12/12/25, the BESS will be installed near the Wetzel Road frontage along with a transformer pad and other equipment pads. Underground electrical lines will connect the BESS to the rear of the site where the proposed utility recloser pad and riser pole will be located. Overhead wires will connect the site to the "proposed utility point of interconnection" located across Maltlage Drive from the site.
Access:	<p>A 20'-wide driveway to Wetzel Road is proposed to provide access to the BESS and a 20'-wide driveway to Maltlage Drive will provide access to the utility connection equipment at the rear of the site.</p> <p>ADVISORY NOTE: Per the Onondaga County Department of Transportation, additional access to Wetzel Road will be permitted.</p>
Landscaping:	<p>Evergreen screening will be installed along the eastern parcel boundary, near the Wetzel Road frontage and along portions of the Maltlage Drive frontage, across the rear driveway.</p> <p>Existing tree cover will be retained along the southern and eastern boundaries of the site.</p>
Stormwater:	Per the Environmental Assessment Form (EAF) dated 12/17/25, 0.31 acres of the 0.99-acre site will be disturbed by the proposed project and the proposal will generate stormwater runoff.

Drinking Water: The referral notice says a new connection to public drinking water is proposed to serve the site. However it is unclear if this connection is necessary.

Wastewater: The referral notice says a new connection to the public sewers is proposed at the site which is located in the Wetzel Road Wastewater Treatment Plant service area. However it is unclear if this connection is necessary.

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as an archaeological site on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper)

ADVISORY NOTE: NYS regulations require the applicant and/or municipality to contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality Review Act (SEQRA) process.

Other: The project is within 2,000 feet of a site (ID: 734051) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper).

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-12

Case Number: **Z-26-12**

RelatedCases:

Referring Board: Town of Clay Town Board

Type of Action: SPECIAL PERMIT

Keyword: Battery Energy Storage System (B

Applicant: Long Branch Storage Project

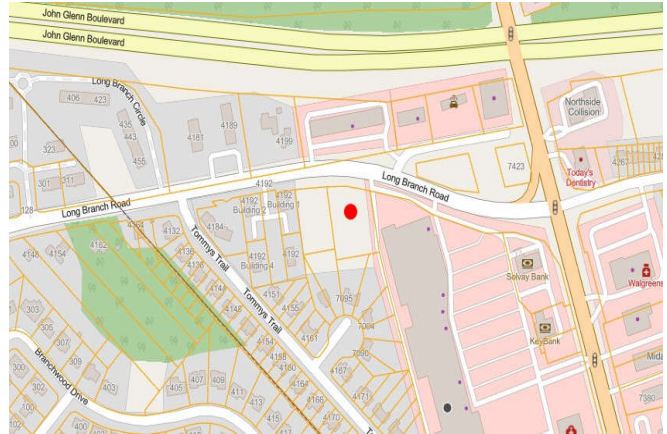
Location: at Long Branch Road (west of
7421 Oswego Road)

Tax Map ID: 104.-02-09.1

RECOMMENDATION: **Modification**

JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of Long Branch Road (Route 35) and John Glenn Boulevard (Route 81), both county highways, and the municipal boundary between the Town of Clay and the Town of Salina

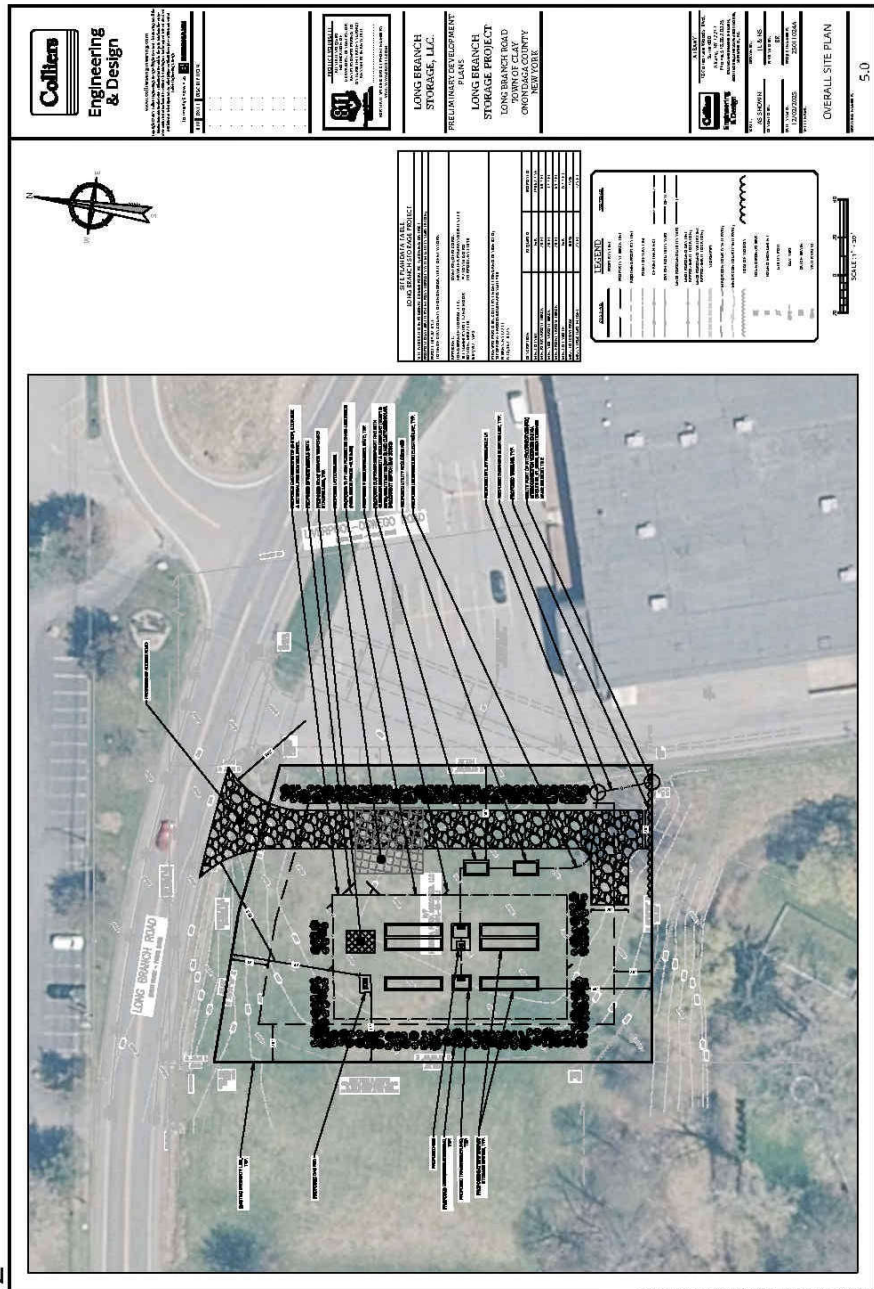


SUMMARY:

the applicant is requesting a special permit to allow the construction of a 500kW battery energy storage system (BESS) on a portion of a 0.78-acre parcel in a Regional Commercial (RC-1) zoning district



Z-26-12



STAFF REVIEW:

Nearby Uses/Setting: The site is a vacant parcel along Long Branch Road, a county road. The site is adjacent to the Glenn Crossing Plaza to the east, a vacant parcel to the west, and residential uses to the rear.

Current Zoning: The site and adjacent commercial plaza are in a Regional Commercial (RC) zoning district, abutting a vacant site zoned Office (O-2) to the west, and residential zoning districts to the west and south (rear).

Project Detail: The applicant is requesting a special permit to allow a BESS to be installed. Per the referral the applicant will install a BESS “utilizing Tesla Megapack batteries and an interconnection to the National Grid distribution system.”

Per the “Battery Energy Storage Memorandum”, the applicant proposes a 5,000 kW AC/23,051 kWh system composed of 6 Tesla Megapack 2XLs which are capable of discharging 5,000 kW daily for four hours.”

Proposed Site Layout: Per the Overall Site Plan dated 12/2/25, the BESS will be located at the center of the site along with the transformer pad, DAS pad, and GTB, surrounded by a chain link fence.

Underground wires will connect the equipment to the utility recloser pad adjacent to the access road and then connect to a utility pole at the rear corner of the site to the adjacent commercial plaza. The pole in the southeast corner of the site will be the “utility point of interconnection”.

Access: A 20’-wide driveway from Long Branch Road will extend along the eastern site boundary to a turnaround at the rear.

ADVISORY NOTE: Per the Onondaga County Department of Transportation, existing or proposed driveways on Long Branch Road must meet Department of Transportation requirements.

Landscaping: The Overall Site Plan depicts evergreen screening of the fenced in area on the north and south sides and along the eastern side of the parcel between the access road and the commercial plaza.

Other: Per the Long Branch Road BESS Project Visual Renders dated 12/18/25, the location of the BESS will be mostly obscured by the evergreen screening.

Stormwater: Per the Environmental Assessment Form (EAF) dated 12/17/25, 0.67 acres of the 0.78-acre site will be disturbed by the proposed project and the proposal will generate stormwater runoff.

Drinking Water: The referral notice says a new connection to public drinking water is proposed to serve the site. However it is unclear if this connection is necessary.

Wastewater: The referral notice says a new connection to the public sewers is proposed to serve the site which is located in the Wetzels Road Wastewater Treatment Plant and Sawmill Pump Station service areas. However it is unclear if this connection is necessary.

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper)

ADVISORY NOTE: NYS regulations require the applicant and/or municipality contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality (SEQR) process.

Other: The project is within 2,000 feet of a site (ID: 734051) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper)

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-15

Case Number: **Z-26-15**

Related Cases: Z-26-16

Referring Board: Town of Clay Planning Board

Type of Action: SITE PLAN

Keyword: Battery Energy Storage System (B

Applicant: Wetzel BESS A&B

Location: at 7846 & 7850 Goguen Road

Tax Map ID: 087.-01-53.0, 087.-01-08.2

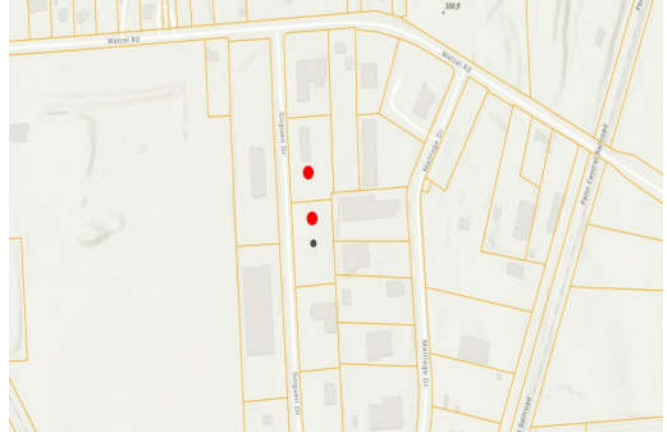
RECOMMENDATION: **Modification**

JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Wetzel Road (Route 252), a county highway

SUMMARY:

the applicant is proposing construction of (2) 5 MW Battery Energy Storage Systems (BESS) on two parcels totaling 2.65 acres in an Industrial (I-1) zoning district





STAFF REVIEW:

Concurrent Reviews:	Special permit referral (Z-26-16) for this proposed Battery Energy Storage (BESS).
Nearby Uses/Setting:	The area is characterized by a mix of industrial and commercial land uses, Wetzel Road, a county highway, and between CSX rail lines. Nearby uses include a sign company, an exhibit design and fabrication company, and a construction/demolition company.
Existing Site Layout:	The site contains two parcels, both with frontage on Goguen Drive. The northern parcel contains an existing building parking lot and driveway to Goguen Drive with cross access to the parking lot and facility to the north. Per aerial imagery, the vacant southern parcel contains trees and shrubs.
Proposed Site Layout:	<p>Per the Site Layout Plan dated 12/22/25, the BESS will be constructed at the northern end of the site, across the parcel boundary. The six BESS units will be installed in a fenced-in gravel area along with the associated electrical equipment. Two sets of overhead electrical lines will connect the fenced-in area to utility poles along Goguen Drive frontage and to two interconnection points on existing utility poles across Goguen Drive.</p> <p>Per the plans, the existing building and driveway to Goguen Drive will remain. The southern portion of the existing parking lot to be removed to contain the BESS.</p>
Project Detail:	<p>Per the Project Narrative dated 1/2026, the applicant is proposing constructing "two 5 MW AC, 4-hour duration BESS", noting the final battery size "will be dependent upon National Grid study results."</p> <p>Per the Project Narrative, the BESS would cover 20,600 sf and would require utility poles to be installed to allow utility interconnection.</p>
Access:	The existing driveway from Goguen Drive will remain. No new driveways are proposed.
Easements:	Per the Site Layout Plan, 20'-wide utility easements occur along the Goguen Drive frontage, along the boundary between parcels, and along the rear site boundary. The fenced in area will occur across the utility easement and utility poles are installed within the utility easement along Goguen Drive. Per the Site Layout Plan, the "existing gas line to be field located prior to pole installation."
Stormwater:	<p>Per the Environmental Assessment Form (EAF) dated 12/29/25, 0.83 acres of the site will be disturbed by the proposed project. Stormwater mitigation is not addressed in the referral materials.</p> <p>ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), a project that cumulatively disturbs one acre or more of land must be covered by the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval.</p>
Drinking Water:	A new connection to public drinking water is proposed to serve the site.

ADVISORY NOTE: OCWA's Engineering Department requires the applicant contact them to determine water availability and service options, obtain hydro test information, evaluate backflow prevention requirements, and/or request Authority conduct hydrant flow testing to assess fire flow availability.

Wastewater: A new connection to the public sewers is proposed to serve the site which is in the Wetzel Road Wastewater Treatment Plant and Sawmill Pump Station areas.

ADVISORY NOTE: The Onondaga County Department of Water Environmental Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connection>

Wetlands: The Project Narrative notes the BESS and supporting equipment will be located "outside of the delineated wetland on the southern property" and that wetland "received a negative Jurisdictional Determination from the NYSDEC", further both parcels received a "negative Jurisdictional Determinations".

GIS mapping depicts nearby state and federal wetlands, but does not show the site or on adjacent parcels.

Per the Existing Conditions map dated 12/22/25, the wetland was delineated. A letter of No Jurisdiction dated 10/14/25 from the NYSDEC had been received. The date of the wetland delineation was not provided. Per the Site Layout Plan, the BESS and associated development will occur outside of the wetland boundary.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-16

Case Number: **Z-26-16**

RelatedCases: Z-26-15

Referring Board: Town of Clay Town Board

Type of Action: SPECIAL PERMIT

Keyword:

Applicant: Wetzel BESS A&B

Location: at 7846 & 7850 Goguen Road

Tax Map ID: 087.-01-53.0, 087.-01-08.2

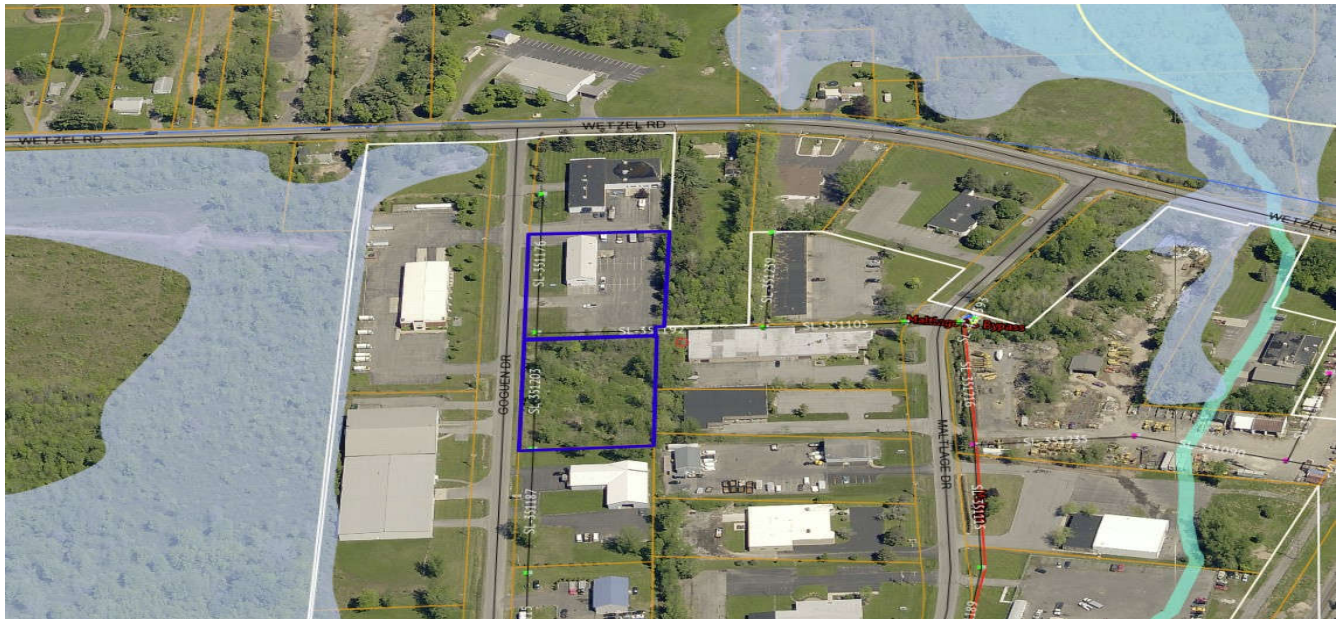
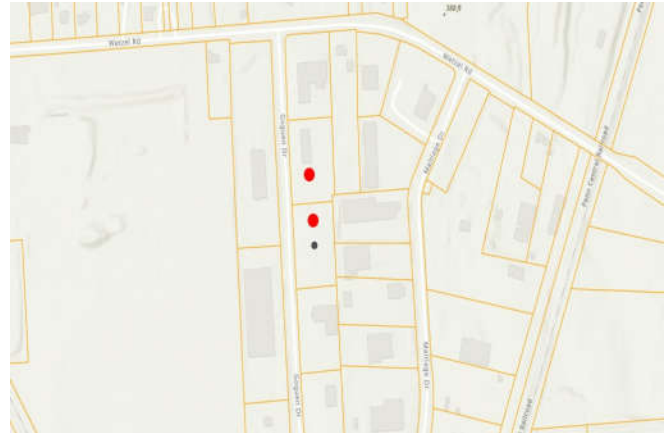
RECOMMENDATION: Modification

JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of Wetzel Road (Route 252), a county highway

SUMMARY:

the applicant is requesting a special permit to allow construction of (2) 5 MW Battery Energy Storage Systems (BESS) on two parcels totaling 2.65 acres in an Industrial (I-1) zoning district





STAFF REVIEW:

Concurrent Reviews:	Site Plan referral (Z-26-15) for this proposed Battery Energy Storage System (BESS).
Nearby Uses/Setting:	The area is characterized by a mix of industrial and commercial land uses, Wetzel Road, a county highway, and between CSX rail lines. Nearby uses include a sign company, an exhibit design and fabrication company, and a construction/demolition company.
Existing Site Layout:	The site contains two parcels, both with frontage on Goguen Drive. The northern parcel contains an existing building parking lot and driveway to Goguen Drive. A cross access to the parking lot and facility to the north. Per aerial imagery, the vacant southern parcel contains trees and shrubs.
Proposed Site Layout:	<p>Per the Site Layout Plan dated 12/22/25, the BESS will be constructed at the top of the site, across the parcel boundary. The six BESS units will be installed in a fenced-in gravel area along with the associated electrical equipment. Two sets of overhead electrical lines will connect the fenced-in area to utility poles along Goguen Drive frontage and to two interconnection points on existing utility poles across Goguen Drive.</p> <p>Per the plans, the existing building and driveway to Goguen Drive will remain. The southern portion of the existing parking lot to be removed to contain the BESS.</p>
Project Detail:	<p>Per the Project Narrative dated 1/2026, the applicant is proposing constructing "two 5 MW AC, 4-hour duration BESS", noting the final battery size "will be dependent upon National Grid study results."</p> <p>Per the Project Narrative, the BESS would cover 20,600 sf and would require utility poles to be installed to allow utility interconnection.</p>
Access:	The existing driveway from Goguen Drive will remain. No new driveways are proposed.
Easements:	Per the Site Layout Plan, 20'-wide utility easements occur along the Goguen frontage, along the boundary between parcels, and along the rear site boundary. The fenced in area will occur across the utility easement and utility poles are installed within the utility easement along Goguen Drive. Per the Site Layout Plan, the "existing gas line to be field located prior to pole installation."
Stormwater:	<p>Per the Environmental Assessment Form (EAF) dated 12/29/25, 0.83 acres of the site will be disturbed by the proposed project. Stormwater mitigation is not addressed in the referral materials.</p> <p>ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), a project that cumulatively disturbs one acre or more of land must be covered by the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval.</p>
Drinking Water:	A new connection to public drinking water is proposed to serve the site.

ADVISORY NOTE: OCWA's Engineering Department requires the applicant contact them to determine water availability and service options, obtain hydro test information, evaluate backflow prevention requirements, and/or request Authority conduct hydrant flow testing to assess fire flow availability.

Wastewater: A new connection to the public sewers is proposed to serve the site which is in the Wetzel Road Wastewater Treatment Plant and Sawmill Pump Station areas.

ADVISORY NOTE: The Onondaga County Department of Water Environmental Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connection>

Wetlands: The Project Narrative notes the BESS and supporting equipment will be located "outside of the delineated wetland on the southern property" and that wetland "received a negative Jurisdictional Determination from the NYSDEC", further both parcels received a "negative Jurisdictional Determinations".

GIS mapping depicts nearby state and federal wetlands, but does not show the site or on adjacent parcels.

Per the Existing Conditions map dated 12/22/25, the wetland was delineated. A letter of No Jurisdiction dated 10/14/25 from the NYSDEC had been received. The date of the wetland delineation was not provided. Per the Site Layout Plan, the BESS and associated development will occur outside of the wetland boundary.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-25

Case Number: **Z-26-25**

RelatedCases: Z-26-26

Referring Board: Town of Van Buren
Planning Board

Type of Action: SITE PLAN

Keyword: River Mall Plaza - Simple Roast Cof

Applicant: Matthew Peirson

Location: at 2265 Downer Street Road

Tax Map ID: 034.-04-06.1

RECOMMENDATION: **Modification**

JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Downer Street Road (Route 92), a county highway

SUMMARY:

the applicant is proposing to install a single-story 380 sf drive-thru coffee hut (Simple Roast Coffee) on a portion of the existing River Mall parking lot on a 21.77-acre parcel in a General Business zoning district



STAFF REVIEW:

Concurrent Reviews:	Special Permit referral (Z-26-26) to allow drive-in service.
Past Board Reviews:	The Board has reviewed multiple referrals regarding the site, River Mall Plaza recently recommending Modification of site plan and change of use referral 260, Z-25-261) to establish a Little Caesars restaurant within an existing space, advising the applicant to contact the Onondaga County Department of Water and Environment Protection (OCDWEP) regarding a required re-inspection of the premises and required permits. Prior to that, the Board offered No Position Comment on a site plan application (Z-11-15) to construct a gas station on a portion of the River Mall shopping center site. The Board encouraged the municipality to establish sidewalk policies to enable the extension of a pedestrian network along Downer Street and to connect nearby residential neighborhoods to commercial uses, encouraged the applicant and municipality to reduce impermeable surfaces and utilize green infrastructure, and recommending the reduction of area dedicated to parking.
Location:	The parcel contains the River Mall shopping plaza with two commercial buildings at the rear of the property, a small commercial building in the front of the parcel, and a shared parking lot. Commercial uses located within the plaza include a Thrift Shopper, liquor store, and Tops supermarket. Surrounding uses include agricultural land to the north, Diane Reeves Memorial Park to the east and commercial uses including Apex Power Equipment, McDonalds, and Aldi to the west and south.
Project Detail:	<p>Per the Project Narrative dated 12/22/25, the applicant is proposing constructing a 380 sf “drive-through coffee hut” at the center of the mall’s parking lot behind the existing gas station. The proposed wooden structure will have porches constructed at either end. Per the Floor Plan dated 1/16/26, there will be no customer service within the drive-up store.</p> <p>Per the Site Plan dated 11/24/25, the building will have a single drive-thru lane on either side of the hut with possible landscaping extending from the building along the drive-thru lanes. A dumpster enclosure will be constructed and 7 parking spaces will be striped for employees. The proposal will result in a decrease of total parking spaces within the plaza parking lot.</p> <p>Note, the Site Plan lacks clarifying details and labeling. It is unclear if there will be curbing installed, if dark gray areas depicted on the plan will be landscaped with a different surface, or will be outlined by striping.</p>
Access:	Access to the plaza comes from Downer Street Road, a county road, and C Road, a local road. No changes are proposed.
Drinking Water:	<p>A new connection to public drinking water is proposed for the new building. Layout and Utility Plan dated 12/18/25, water service for the proposed building will come from an existing hydrant located within the parking lot.</p> <p>ADVISORY NOTE: The applicant is advised to contact OCWA's Engineering Department to determine the activities and structures permitted within OCV easements/rights-of-way, water availability and service options, obtain hydrant</p>

test information, evaluate backflow prevention requirements, and/or request Authority conduct hydrant flow testing to assess fire flow availability.

Wastewater: A new connection to public sewers is proposed for the new building. The site is located in the Baldwinsville-Seneca Knolls Wastewater Treatment Plant and Baldwinsville South and River Mall Pump Stations service areas. Per the Land and Utility Plan, sewer service for the proposed building will come from an existing sanitary sewer line bisecting the parking lot.

ADVISORY NOTE: The Onondaga County Department of Water Environmental Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connection>

Bike/Ped/Transit: Per the Central New York Regional Transportation Authority (CENTRO), Downer Street Road has public transit service and bus stops are located adjacent to the site.

Bike/Ped/Transit: There are sidewalks along Downer Street Road, but no sidewalks leading to the buildings on site.

Watersheds: Per the EAF Mapper, the site is located over, or immediately adjoining, principal aquifers.

Agriculture: The parcel is adjacent to active farmlands enrolled in a NYS Agricultural District (District 3). The parcels that appear to contain active farmland are located to the rear of the parcel behind the existing Tops facility and are not directly adjacent to the subject area.

Historic Resources: The site is located near the Mrs. I. L. Crego House which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State and National Register of Historic Places. Additionally, per the EAF Mapper, the portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the NYS Historic Preservation Office archaeological inventory.

ADVISORY NOTE: NYS regulations require the applicant and/or municipality to contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality Review Act (SEQRA) process.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-26

Case Number: **Z-26-26**
RelatedCases: Z-26-25
Referring Board: Town of Van Buren
 Zoning Board of Appeals
Type of Action: SPECIAL PERMIT

Keyword: River Mall Plaza - Simple Roast Cof
Applicant: Matthew Peirson
Location: at 2265 Downer Street Road
Tax Map ID: 034.-04-06.1

RECOMMENDATION: **Modification**

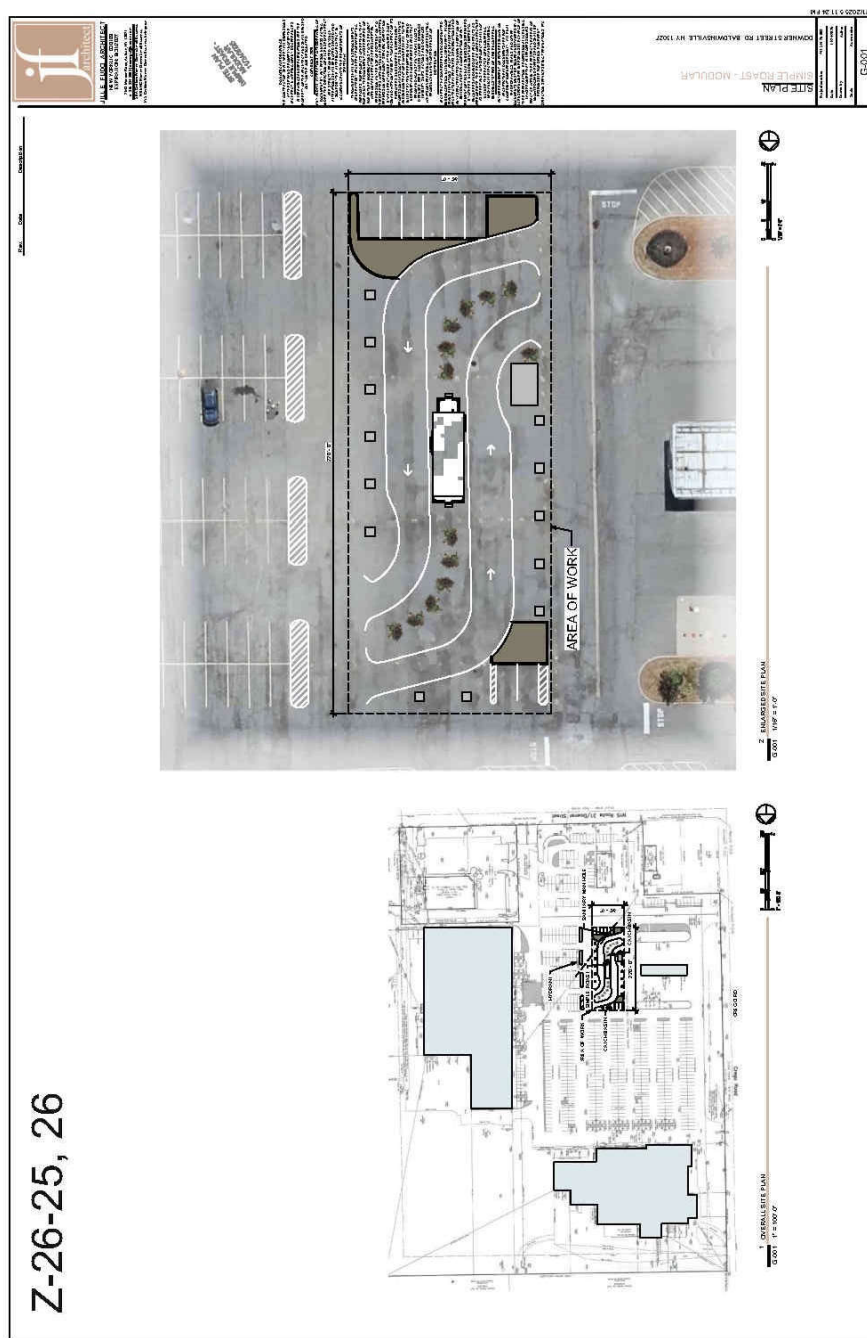
JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of Downer Street Road (Route 92), a county highway

SUMMARY:

the applicant is requesting a special permit to allow the installation of a single-story 380 sf drive-thru coffee hut on a portion of the existing parking lot on a 21.77-acre parcel in a General Business zoning district





STAFF REVIEW:

Concurrent Reviews: Site Plan referral (Z-26-25) to construct a standalone drive-thru coffee hut.

Past Board Reviews: The Board has reviewed multiple referrals regarding the site, River Mall Plaza recently recommending Modification of site plan and change of use referral 260, Z-25-261) to establish a Little Caesars restaurant within an existing space, advising the applicant to contact the Onondaga County Department of Water and Environment Protection (OCDWEP) regarding a required re-inspection of the premises and required permits. Prior to that, the Board offered No Position Comment on a site plan application (Z-11-15) to construct a gas station on a portion of the River Mall shopping center site. The Board encouraged the municipality to establish sidewalk policies to enable the extension of a pedestrian network along Downer Street and to connect nearby residential neighborhoods to commercial uses, encouraged the applicant and municipality to reduce impermeable surfaces and utilize green infrastructure, and recommending the reduction of area dedicated to parking.

Location: The parcel contains the River Mall shopping plaza with two commercial buildings at the rear of the property, a small commercial building in the front of the parcel, and a shared parking lot. Commercial uses located within the plaza include a Thrift Shopper, liquor store, and Tops supermarket. Surrounding uses include agricultural land to the north, Diane Reeves Memorial Park to the east and commercial uses including Apex Power Equipment, McDonalds, and Aldi to the west and south.

Project Detail: Per the Project Narrative dated 12/22/25, the applicant is proposing constructing a 380 sf “drive-through coffee hut” at the center of the mall’s parking lot behind an existing gas station. The proposed wooden structure will have porches constructed at either end. Per the Floor Plan dated 1/16/26, there will be no customer service windows within the drive-up store.

Per the Site Plan dated 11/24/25, the building will have a single drive-thru lane on either side of the hut with possible landscaping extending from the building to the drive-thru lanes. A dumpster enclosure will be constructed and 7 parking spaces will be striped for employees. The proposal will result in a decrease of total parking spaces within the plaza parking lot.

Note, the Site Plan lacks clarifying details and labeling. It is unclear if there will be curbing installed, if dark gray areas depicted on the plan will be landscaped with a different surface, or will be outlined by striping.

Access: Access to the plaza comes from Downer Street Road, a county road, and C Road, a local road. No changes are proposed.

Drinking Water: A new connection to public drinking water is proposed for the new building. Layout and Utility Plan dated 12/18/25, water service for the proposed building will come from an existing hydrant located within the parking lot.

Wastewater: A new connection to public sewers is proposed for the new building. The site is located in the Baldwinsville-Seneca Knolls Wastewater Treatment Plant and Baldwinsville South and River Mall Pump Stations service areas. Per the Layout

and Utility Plan, sewer service for the proposed building will come from an existing sanitary sewer line bisecting the parking lot.

ADVISORY NOTE: The Onondaga County Department of Water Environmental Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connection>

Bike/Ped/Transit: Per the Central New York Regional Transportation Authority (CENTRO), Downer Street Road has public transit service and bus stops are located adjacent to the site.

Bike/Ped/Transit: There are sidewalks along Downer Street Road, but no sidewalks leading to the buildings on site.

Watersheds: Per the EAF Mapper, the site is located over, or immediately adjoining, principal aquifers.

Agriculture: The parcel is adjacent to active farmlands enrolled in a NYS Agricultural District (District 3). The parcels that appear to contain active farmland are located to the rear of the parcel behind the existing Tops facility and are not directly adjacent to the subject area.

Historic Resources: The site is located near the Mrs. I. L. Crego House which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State and National Register of Historic Places. Additionally, per the EAF Mapper, the portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the NYS Historic Preservation Office archaeological inventory.

ADVISORY NOTE: NYS regulations require the applicant and/or municipality to contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality Review Act (SEQRA) process.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-9

Case Number: **Z-26-9**
RelatedCases: Z-26-10 S-26-1
Referring Board: Town of Clay Town Board
Type of Action: ZONE CHANGE

Keyword: Summit Federal Credit Union
Applicant: The Summit Federal Credit Union
Location: at 4955 West Taft Road
Tax Map ID: 107.-14-26.1, 107.-14-27.1

RECOMMENDATION: **Modification**

JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review the adoption or amendment of a zoning ordinance or local law and the site is located within 500 feet of West Taft Road (Route 51), a county highway

SUMMARY:

the applicant is proposing a zone change on two parcels totaling 1.07 acres from Neighborhood Office (O-1) to Office (O-2) to allow for the construction of a credit union





STAFF REVIEW:

Past Board Reviews:	Site plan referral (Z-06-282) to construct a 2,439 sf office building on site. The Board held No Position.
Concurrent Reviews:	Special permit and subdivision referrals (Z-26-10 and S-26-1).
Nearby Uses/Setting:	The site is located along West Taft Road, County Route 51, with additional along Carriage Parkway, a local road. The site is across Carriage Parkway Wegmans and is part of the Merrill Farms subdivision. The Taft Road corridor this area is characterized by a mixture of commercial businesses along main road surrounded by residential neighborhoods. Adjacent parcels contain residential uses.
Existing Site Layout:	The site is comprised of two parcels located on West Taft Road, a vacant western parcel and an eastern parcel currently containing an office building (to be demolished) with a driveway to Carriage Parkway.
Proposed Site Layout:	Per the Lot Nos. 1 & 2 Taft Road Professional Office Park Map dated 12/15/2017, two parcels comprising the site will be combined into a new 1.02-acre lot.
Current Zoning:	Per the Town Zoning Map dated 12/2017, the site is in an O-1 (Neighborhood Office) zoning district. Residential parcels to the west and north (rear) of the site are zoned R-7.5 (One-Family Residential District), the adjacent Wegmans is zoned RC-1 (Regional Commercial), and the Pinecrest Apartment Complex to the rear of the plaza is zoned R-Apt (Apartment District).
Proposed Zoning:	<p>The applicant requests a zone change from O-1 (Neighborhood Office District) to O-2 (Office) to allow the proposed credit union. Per Town Code, the O-2 district is intended "to preserve the existing residential quality along portions of major roads within the Town. It shall also respect the general character of the surrounding area while permitting alternative and compatible office development on selected parcels that are not suitable for residential use. This district shall emphasize the scale and design of any proposed office uses to ensure compatibility with the existing planned residential development."</p> <p>Uses permitted within O-2 include office buildings and instructional facilities, day-care centers, and libraries with special permit approval, and emergency vehicle stations, banks/credit unions, medical offices, and drive-thru service with a special permit approved by the Town Board.</p>
Other:	The applicant is requesting two special permits to allow the proposed credit union in an O-2 zoning district and to allow drive-thru service.
Proposed Site Layout:	Per the Taft Road Branch Conceptual Site Plan (undated), the existing building will be demolished to allow construction of the proposed 3,100 sf credit union. The Conceptual Plan depicts the drive-thru queue along the rear of the building and a three-lane drive-thru with bypass lane along the western side of the building. A 19-space parking lot will be located between the building and the West Taft Road frontage.

ADVISORY NOTE: Per the Onondaga County Department of Water Environment & Planning, the site is located within the Onondaga County Water Environment & Planning District.

Protection, any and all demolition of buildings requires a permit for sewer disconnects. The applicant must contact Plumbing Control to ensure appropriate permits are obtained.

Landscaping: Per the Taft Road Branch – Concept 2 Plan (undated), it appears landscape screening will be located along the rear and side site boundaries, between the site and adjacent residential parcels. Plant or tree varieties are not specified.

Access: Per the Taft Road Branch Conceptual Site Plan (undated), proposed access to the credit union will utilize the existing site access to Carriage Parkway, a local road.

ADVISORY NOTE: Per the Onondaga County Department of Transportation, additional access to West Taft Road will be permitted.

Drinking Water: A new connection to public drinking water is proposed for the new building.

ADVISORY NOTE: OCWA's Engineering Department requires the applicant to contact them to determine water availability and service options, obtain hydrograph test information, evaluate backflow prevention requirements, and/or request the Authority conduct hydrant flow testing to assess fire flow availability.

Wastewater: A new connection to public sewers is proposed for the new building and the building is located in the Oak Orchard Wastewater Treatment Plant and Davis Road Flow Station service areas.

ADVISORY NOTE: The Onondaga County Department of Water Environmental Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project. The applicant must coordinate with the municipal engineer. The Capacity Assurance Form and the approval process can now be found online: <http://ongov.net/wep/connection>

Easements: Per the Taft Road Professional Office Park Map, a 15'-wide sanitary sewer easement occurs at the rear of the western parcel, extending to the rear of the existing building. A 25' and 20'-wide Ingress & Egress Easement is located along the site's driveway to Carriage Parkway and extends through the front parking lot.

ADVISORY NOTE: Per the Onondaga County Department of Water Environmental Protection (WEP), no permanent structures are permitted within the County easement. Any other work within the County easement must be coordinated with WEP.

Bike/Ped/Transit: The Syracuse Metropolitan Transportation Council (SMTTC) has created a Sustainable Streets Guide, which includes the identification of priority sidewalk zones where the installation of sidewalks would be most beneficial. This site is located within a priority zone.

Per aerial imagery from May 2024, there are no sidewalks along Carriage Parkway or West Taft Road.

Bike/Ped/Transit: Per the Central New York Regional Transportation Authority (CENTRO), West Taft Road has public transit service and bus stops are located on West Taft Road adjacent to the site.

Other: The project is within 2,000 feet of a site (ID: 734051) in the NYS Department of Environmental Conservation's (DEC) Statewide Inventory of Sites (SIS).

Environmental Conservation Environmental Site Remediation database (per EAF Mapper).

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 S-26-1

Case Number:	S-26-1	Keyword:	Summit Federal Credit Union
RelatedCases:	Z-26-9 Z-26-10	Applicant:	The Summit Federal Credit Union
Referring Board:	Town of Clay Planning Board	Location:	at 4955 West Taft Road
Type of Action:	SUBDIVISION	Tax Map ID:	107.-14-26.1, 107.-14-27.1

RECOMMENDATION: **No Position With Comment**

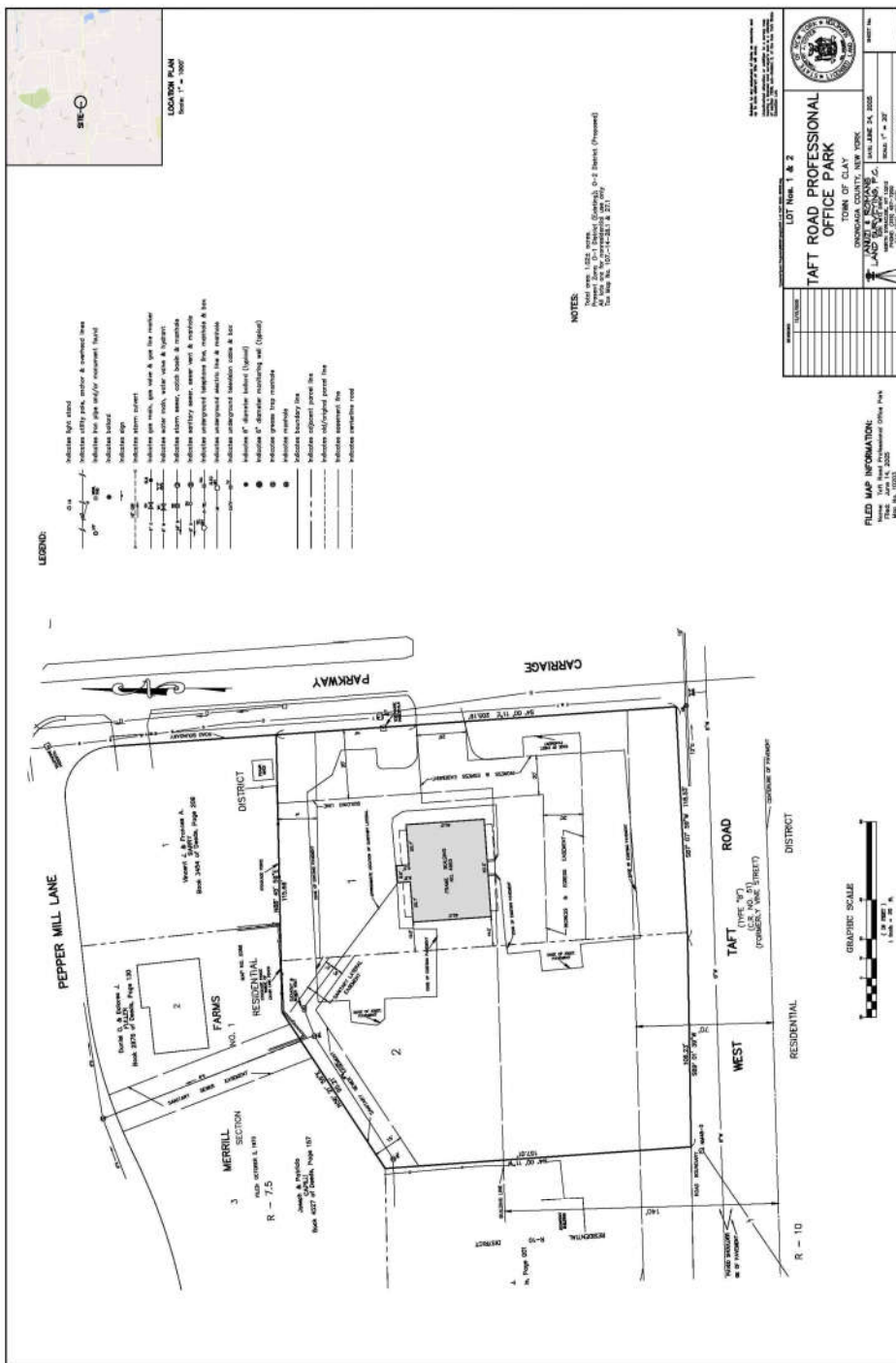
JURISDICTION:

General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of West Taft Road (Route 51), a county highway

SUMMARY:

the applicant is proposing to combine two parcels totaling 1.07 acres to allow for the construction of a credit union in a proposed Office (O-2) zoning district





STAFF REVIEW:

Past Board Reviews:	Site plan referral (Z-06-282) to construct a 2,439 sf office building on site. The Board held No Position.
Concurrent Reviews:	Zone change and special permit referrals (Z-26-9 and Z-26-10).
Nearby Uses/Setting:	The site is located along West Taft Road, County Route 51, with additional along Carriage Parkway, a local road. The site is across Carriage Parkway Wegmans and is part of the Merrill Farms subdivision. The Taft Road corridor this area is characterized by a mixture of commercial businesses along main road surrounded by residential neighborhoods. Adjacent parcels contain residential uses.
Existing Site Layout:	The site is comprised of two parcels located on West Taft Road, a vacant western parcel and an eastern parcel currently containing an office building (to be demolished) with a driveway to Carriage Parkway.
Proposed Site Layout:	Per the Lot Nos. 1 & 2 Taft Road Professional Office Park Map dated 12/15/2017, two parcels comprising the site will be combined into a new 1.02-acre lot.
Current Zoning:	Per the Town Zoning Map dated 12/2017, the site is in an O-1 (Neighborhood Office) zoning district. Residential parcels to the west and north (rear) of the site are zoned R-7.5 (One-Family Residential District), the adjacent Wegmans Plaza is zoned RC-1 (Regional Commercial), and the Pinecrest Apartment Complex to the rear of the plaza is zoned R-Apt (Apartment District).
Proposed Zoning:	<p>The applicant requests a zone change from O-1 (Neighborhood Office District) to O-2 (Office) to allow the proposed credit union. Per Town Code, the O-2 district is intended "to preserve the existing residential quality along portions of major roads within the Town. It shall also respect the general character of the surrounding area while permitting alternative and compatible office development on selected parcels that are not suitable for residential use. This district shall emphasize the scale and design of any proposed office uses to ensure compatibility with the existing planned residential development."</p> <p>Uses permitted within O-2 include office buildings and instructional facilities, day-care centers, and libraries with special permit approval, and emergency vehicle stations, banks/credit unions, medical offices, and drive-thru service with a special permit approved by the Town Board.</p>
Other:	The applicant is requesting two special permits to allow the proposed credit union in an O-2 zoning district and a special permit to allow drive-thru service.
Proposed Site Layout:	Per the Taft Road Branch Conceptual Site Plan (undated), the existing building will be demolished to allow construction of the proposed 3,100 sf credit union. The Conceptual Plan depicts the drive-thru queue along the rear of the building. A three-lane drive-thru with bypass lane along the western side of the building. A 19-space parking lot will be located between the building and the West Taft Road frontage.

ADVISORY NOTE: Per the Onondaga County Department of Water Environment

Protection, any and all demolition of buildings requires a permit for sewer disconnects. The applicant must contact Plumbing Control to ensure appropriate permits are obtained.

Landscaping: Per the Taft Road Branch – Concept 2 Plan (undated), it appears landscape screening will be located along the rear and side site boundaries, between the site and adjacent residential. Plant or tree varieties are not specified.

Access: Per the Taft Road Branch Conceptual Site Plan (undated), proposed access to the credit union will utilize the existing site access to Carriage Parkway.

ADVISORY NOTE: Per the Onondaga County Department of Transportation, additional access to West Taft Road will be permitted.

Drinking Water: A new connection to public drinking water is proposed for the new building.

ADVISORY NOTE: OCWA's Engineering Department requires the applicant to contact them to determine water availability and service options, obtain hydrograph test information, evaluate backflow prevention requirements, and/or request the Authority conduct hydrant flow testing to assess fire flow availability.

Wastewater: A new connection to public sewers is proposed for the new building and the building is located in the Oak Orchard Wastewater Treatment Plant and Davis Road Flow Station service areas.

ADVISORY NOTE: The Onondaga County Department of Water Environmental Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flow will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project and coordinate with the municipal engineer. The Capacity Assurance Form and the approval process can now be found online: <http://ongov.net/wep/connection>

Easements: Per the Taft Road Professional Office Park Map, a 15'-wide sanitary sewer easement occurs at the rear of the western parcel, extending to the rear of the existing building. A 25' and 20'-wide Ingress & Egress Easement is located along the site's driveway to Carriage Parkway and extends through the front parking lot.

Bike/Ped/Transit: The Syracuse Metropolitan Transportation Council (SMTTC) has created a Sustainable Streets Guide, which includes the identification of priority sidewalk zones where the installation of sidewalks would be most beneficial. This site is located within a priority zone.

Per aerial imagery from May 2024, there are no sidewalks along Carriage Parkway or West Taft Road.

Bike/Ped/Transit: Per the Central New York Regional Transportation Authority (CENTRO), West Taft Road has public transit service and bus stops are located on West Taft Road adjacent to the site.

Other: The project is within 2,000 feet of a site (ID: 734051) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per the Site Mapper).

Historic: The site or a portion of it is located in or adjacent to an area designated as a historic district.

Resources: for archaeological sites on the NYS Historic Preservation Office archaeolog
inventory (per EAF Mapper).

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-14

Case Number: **Z-26-14**

Keyword:

RelatedCases:

Applicant: Roland & LuAnn Burke

Referring Board: Town of Cicero Town Board

Location: at 6668 & 6674 State Route 31

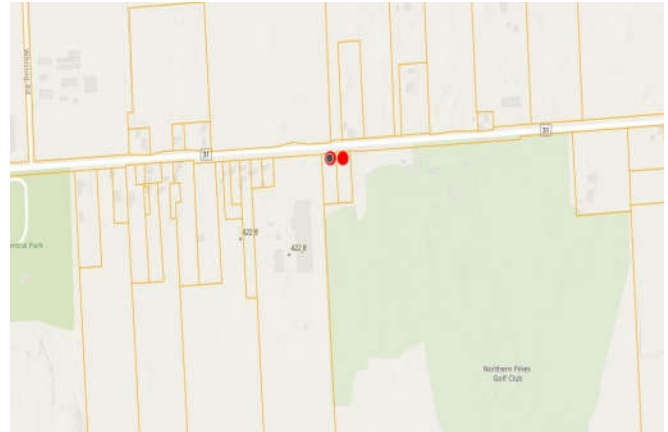
Type of Action: ZONE CHANGE

Tax Map ID: 061.-01-15.1, 061.-01-15.2

RECOMMENDATION: **No Position With Comment**

JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review the adoption or amendment of a zoning ordinance or local law and the site is located within 500 feet of State Route 31, a state highway



SUMMARY:

the applicant is proposing a zone change on two parcels totaling 1.993 acres from Agricultural with Mixed Residential Overlay to General Commercial to allow for a future undefined commercial use





STAFF REVIEW:

Nearby Uses/Setting: The site is located along the south side of NYS Route 31 in an area characterized by large parcels containing a mix of uses. The Northern Pines Golf Club abuts the site to the east and south, the Cicero Highway Department is adjacent to the site to the west. The surrounding area consists of low density residential, woodlands, active agriculture, and Chandler Automotive located across Route 31 from the site.

Current Zoning: The site is located in and primarily surrounded by an Agricultural (AG) and Residential Overlay district with the exception being a 116-acre parcel located across NYS Route 31 from the site, in a Residential 10000 (R10) district.

Proposed Zoning: Per the referral notice, the applicant is seeking to place the site into a General Commercial (GC) zoning district to “accommodate an undefined future commercial use.”

Per the Town Code, the GC district is intended “to provide for those medium density commercial uses whose primary market is Town-wide. Such uses tend to be located on county or state highways of medium to high traffic volume. The scale of such uses generally should not exceed 50,000 square feet.”

Allowed uses include shopping center, hotels and motels, gas/service stations, car-wash facilities, restaurants and drive-in activities, health related facilities, assembly, automobile sales and service, including recreational vehicles and trailers, and veterinary clinics.

Existing Site Layout: Per aerial imagery from May 2024, the site contains two parcels, an eastern parcel and a western parcel containing an approximately 900 sf building with a gravel driveway to Route 31.

Proposed Site Layout: Per the Sketch Plan dated 1/17/25, the applicant illustrates construction of a 1,800 sf building on each parcel with gravel areas to be located between the building and Route 31.

Local Plans: Per the Cicero Comprehensive Plan Future Land Use Map, the site is located in an area identified for Residential and Agricultural uses. Per the Plan, the “Agricultural Land Use Category encompasses active farmland as well as land that could be made suitable for farming or otherwise contributes to the rural character of the Town. The Residential Land Use Category “reflects the Town’s desire to preserve the rural character of its established residential neighborhoods.”

While a GC zoning district may be inconsistent with the goals of the Residential and Agricultural land use areas, the relatively small size of the parcels and location along Route 31 is in keeping with the description of the GC district.

Access: The Sketch Plan depicts both parcels with individual 30’-wide driveways to Route 31.

ADVISORY NOTE: Per the NYS Department of Transportation, all existing and proposed driveways must meet Department requirements.

Stormwater: The Sketch Plan does not depict any stormwater management features. The Environmental Assessment Form solely addresses the zone change and not stormwater management.

future development of the site.

ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), a project that cumulatively disturbs one acre or more of land must be covered by the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval.

Drinking Water: Per the referral notice, the site is served by public drinking water and no changes to the current infrastructure are proposed.

ADVISORY NOTE: OCWA's Engineering Department requires the applicant to contact them to determine water availability and service options;

Wastewater: There is no existing wastewater service to the site and no changes are proposed at this time, however any development will require on-site wastewater facilities as public sewerage infrastructure is not available to the site. The building footprint shown on the Sketch Plan does not allow significant area for septic.

The site is located in the Brewerton Wastewater Treatment Plant Service area approximately 400' from existing sewers.

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as a historic resource on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper)

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-22

Case Number: **Z-26-22**

Keyword:

RelatedCases: Z-26-23

Applicant: Robert Loring

Referring Board: Village of Liverpool
Planning Board

Location: at 519 First Street

Type of Action: SITE PLAN

Tax Map ID: 005.-09-15.0

RECOMMENDATION: **No Position With Comment**

JURISDICTION:

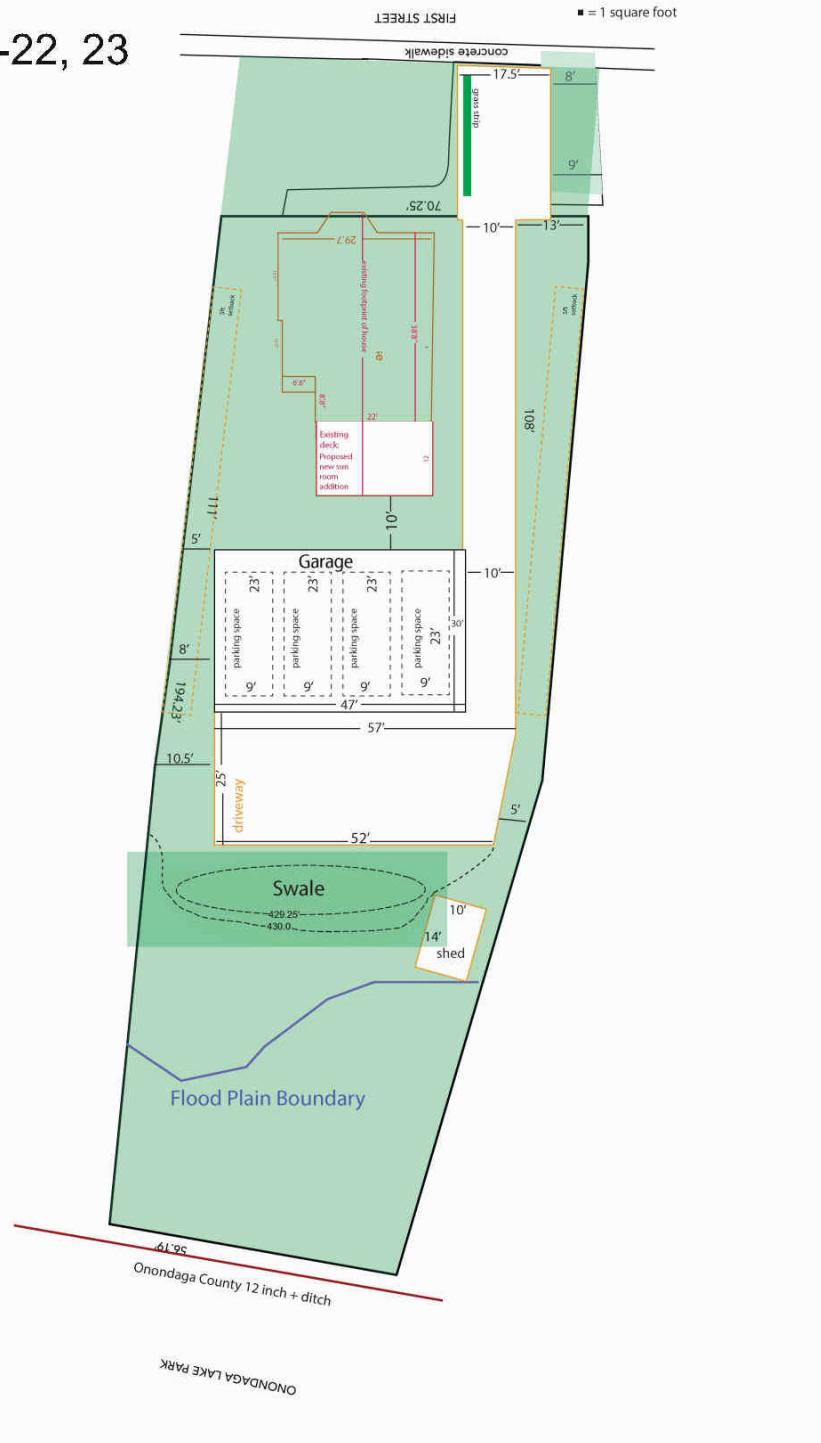
General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Second Street (Route 370), a state highway, and Onondaga Lake Park, a county-owned facility

SUMMARY:

the applicant is proposing to build an addition and deck on an existing three-family residence on a 0.32-acre parcel in a Residential (R-2) zoning district



Z-26-22, 23



STAFF REVIEW:

Past Board Reviews: The Board previously offered No Position with Comment on a site plan refe 25-237) for similar changes proposed for the site.

Concurrent Reviews: Special Permit referral (Z-26-23) to allow construction of a 1-story 4-car gar

Location: The site is a multi-family house in the Village of Liverpool, abutting Ononda Park, a county park, along a highly used trail and visible from that trail. The an approximately 25'-wide driveway to First Street which is adjacent to the neighbor's driveway and parking area to the east. Both the site's driveway and adjacent driveway/parking area are located in the Village right-of-way which aerial imagery from May 2024, is consistent with many of the houses on thi The site has a substantial slope to the rear of the property.

Project Detail: The applicant proposes demolition of a rear addition, decks, and associated stairways and reconstruction of the rear two-story addition to be code comp within the existing building footprint. Per the Project Narrative, the addition provide enclosed heated living space within the existing foundations."

The Project Narrative does not discuss the proposed garage.

Proposed Site Layout: Per an untitled, undated Site Plan, the applicant will narrow the existing driv access from First Street and will install an 8-9'-wide landscaped strip betwe driveway and the adjacent parcel's driveway. A "grass strip" is shown on the the driveway, possibly indicating separation between the driveway and a sidewalk leading to the house, but this detail is unclear.

The driveway will narrow to 10'-wide the remaining length of the driveway to 25'x52'x57' parking area that will provide access to a new one-story, four-car garage. Vehicle-access to the garage will come from the lake-facing side of garage. Construction material of the driveway is unclear. Per Village Planni Board minutes from 10/27/25, the proposed driveway has been approved.

The rear parking area is set back 5' from the eastern parcel boundary and 5' from the western site boundary. The proposed garage will be setback 5' from western parcel boundary.

Stormwater: Per the Environmental Assessment Form (EAF) dated 1/1/2026, 0.03 acres site will be disturbed by the proposed project. The Site Plan depicts a swale constructed to the rear of the parking area. A 10'x14' shed is shown adjacent to the swale. The shed is not present in aerial photography and is not detailed in the project descriptions.

Existing Site Layout: Per GIS mapping and aerial photography, the ground slopes down approximately 19 feet to the rear of the parcel, with a substantial change of elevation from front of the house to the rear of the house. The downslope lands contain FEMA floodplain areas related to Onondaga Lake. The referral materials do not include any planned measures to mitigate the slope.

Floodplain/Flood FEMA Flood Insurance Rate Maps (FIRM) indicate the rear of the site is located in a floodplain area.

way: within the 100-year floodplain for Onondaga Lake, which may require avoid elevation of structures and other mitigation. Per the submitted Site Plan, the floodplain as mapped does not appear to encroach within the limits of the p However, drainage into the floodplain could be affected by the proposed sit changes.

ADVISORY NOTE: The Onondaga County Hazard Mitigation Plan has ide flooding as a natural hazard of local concern, with the potential to cause ex threat to property and safety. Buildings within the floodplain can negatively the free flow of nearby waterways and drainage, and building within a flood therefore discouraged.

Drinking Water: The site is served by public drinking water. It is not clear if any changes to existing infrastructure are proposed.

ADVISORY NOTE: OCWA's Engineering Department may require the appl contact them to determine water availability and service options.

Wastewater: The site is served by public sewers and is located in the Metropolitan Wast Treatment Plant and Liverpool Pump Station service areas. It is not clear if changes to the existing infrastructure are proposed.

ADVISORY NOTE: The Onondaga County Department of Water Environm Protection (OCDWEP) may require capacity assurance due to a possible ir in use. Additionally, unless it can be demonstrated that anticipated sanitary will not exceed previous flows in excess of one sewer unit over prior uses, t applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/proje coordination with the municipal engineer. The Capacity Assurance Form an approval process can now be found online: <http://ongov.net/wep/connection>

Other: The project is within 2,000 feet of a site (ID: 734030) in the NYS Departmen Environmental Conservation Environmental Site Remediation database (pe Mapper). The site is also located over, or immediately adjoining, primary ar principal aquifers (per EAF Mapper).

Plants/Animals: The site may contain the Indiana bat, Northern Long-eared bat, and Straight pondweed, or its associated habitat, which has been listed by the state or f government as a threatened or endangered animal species (per EAF Mapp Impacts to bat species are often associated with tree clearing and from the materials, it appears that no trees will be removed as part of the proposed |

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as for archaeological sites on the NYS Historic Preservation Office archaeolog inventory (per EAF Mapper).

ADVISORY NOTE: NYS regulations require the applicant and/or municipali contact the NYS Historic Preservation Office to determine if the project sho submitted to the Office for review as part of the State Environmental Quality (SEQR) process.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-23

Case Number: **Z-26-23**

Keyword:

RelatedCases: Z-26-22

Applicant: Robert Loring

Referring Board: Village of Liverpool
Planning Board

Location: at 519 First Street

Type of Action: SPECIAL PERMIT

Tax Map ID: 005.-09-15.0

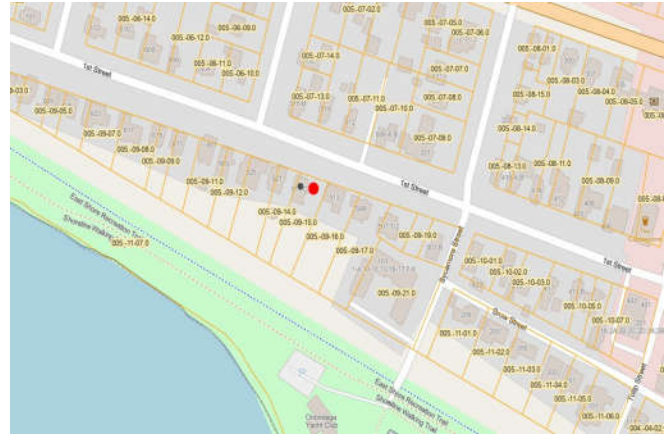
RECOMMENDATION: **No Position With Comment**

JURISDICTION:

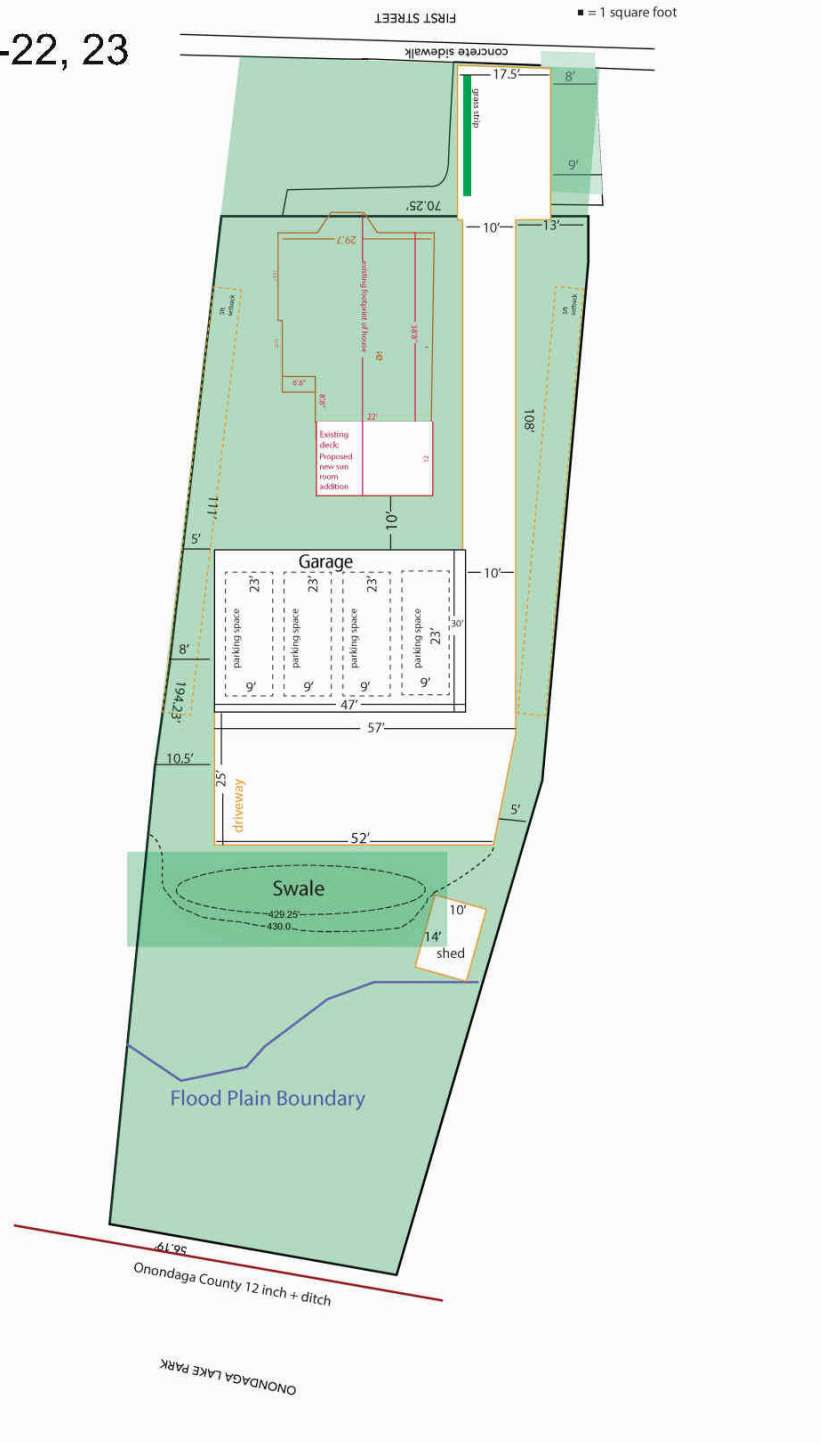
General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of Second Street (Route 370), a state highway, and Onondaga Lake Park, a county-owned facility

SUMMARY:

the applicant is requesting a special permit to allow construction of a one-story detached four-car garage at an existing three-family residence on a 0.32-acre parcel in a Residential (R-2) zoning district



Z-26-22, 23



STAFF REVIEW:

Past Board Reviews: The Board previously offered No Position with Comment on a site plan refe 25-237) for similar changes proposed for the site.

Concurrent Reviews: Site Plan referral (Z-26-22) to rebuild the proposed addition.

Location: The site is a multi-family house in the Village of Liverpool, abutting Ononda Park, a county park, along a highly used trail and visible from that trail. The an approximately 25'-wide driveway to First Street which is adjacent to the neighbor's driveway and parking area to the east. Both the site's driveway and adjacent driveway/parking area are located in the Village right-of-way which aerial imagery from May 2024, is consistent with many of the houses on this. The site has a substantial slope to the rear of the property.

Project Detail: The applicant proposes demolition of a rear addition, decks, and associated stairways and reconstruction of the rear two-story addition to be code compliant within the existing building footprint. Per the Project Narrative, the addition will provide enclosed heated living space within the existing foundations."

 The Project Narrative does not discuss the proposed garage.

Proposed Site Layout: Per an untitled, undated Site Plan, the applicant will narrow the existing driveway access from First Street and will install an 8-9'-wide landscaped strip between driveway and the adjacent parcel's driveway. A "grass strip" is shown on the the driveway, possibly indicating separation between the driveway and a sidewalk leading to the house, but this detail is unclear.

 The driveway will narrow to 10'-wide the remaining length of the driveway to 25'x52'x57' parking area that will provide access to a new one-story, four-car garage. Vehicle-access to the garage will come from the lake-facing side of the garage. Construction material of the driveway is unclear. Per Village Planning Board minutes from 10/27/25, the proposed driveway has been approved.

 The rear parking area is set back 5' from the eastern parcel boundary and 5' from the western site boundary. The proposed garage will be setback 5' from the western parcel boundary.

Stormwater: Per the Environmental Assessment Form (EAF) dated 1/1/2026, 0.03 acres of site will be disturbed by the proposed project. The Site Plan depicts a swale constructed to the rear of the parking area. A 10'x14' shed is shown adjacent to the swale. The shed is not present in aerial photography and is not detailed in the project descriptions.

Existing Site Layout: Per GIS mapping and aerial photography, the ground slopes down approximately 19 feet to the rear of the parcel, with a substantial change of elevation from front of the house to the rear of the house. The downslope lands contain FEMA floodplain areas related to Onondaga Lake. The referral materials do not include any planned measures to mitigate the slope.

Floodplain/Flood FEMA Flood Insurance Rate Maps (FIRM) indicate the rear of the site is located in the 100-year floodplain.

way: within the 100-year floodplain for Onondaga Lake, which may require avoid elevation of structures and other mitigation. Per the submitted Site Plan, the floodplain as mapped does not appear to encroach within the limits of the p However, drainage into the floodplain could be affected by the proposed sit changes.

ADVISORY NOTE: The Onondaga County Hazard Mitigation Plan has ide flooding as a natural hazard of local concern, with the potential to cause ex threat to property and safety. Buildings within the floodplain can negatively the free flow of nearby waterways and drainage, and building within a flood therefore discouraged.

Drinking Water: The site is served by public drinking water. It is not clear if any changes to existing infrastructure are proposed.

ADVISORY NOTE: OCWA's Engineering Department may require the appl contact them to determine water availability and service options.

Wastewater: The site is served by public sewers and is located in the Metropolitan Wast Treatment Plant and Liverpool Pump Station service areas. It is not clear if changes to the existing infrastructure are proposed.

ADVISORY NOTE: The Onondaga County Department of Water Environm Protection (OCDWEP) may require capacity assurance due to a possible ir in use. Additionally, unless it can be demonstrated that anticipated sanitary will not exceed previous flows in excess of one sewer unit over prior uses, t applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/proje coordination with the municipal engineer. The Capacity Assurance Form an approval process can now be found online: <http://ongov.net/wep/connection>

Other: The project is within 2,000 feet of a site (ID: 734030) in the NYS Departmen Environmental Conservation Environmental Site Remediation database (pe Mapper). The site is also located over, or immediately adjoining, primary ar principal aquifers (per EAF Mapper).

Plants/Animals: The site may contain the Indiana bat, Northern Long-eared bat, and Straight pondweed, or its associated habitat, which has been listed by the state or f government as a threatened or endangered animal species (per EAF Mapp Impacts to bat species are often associated with tree clearing and from the materials, it appears that no trees will be removed as part of the proposed |

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as for archaeological sites on the NYS Historic Preservation Office archaeolog inventory (per EAF Mapper).

ADVISORY NOTE: NYS regulations require the applicant and/or municipali contact the NYS Historic Preservation Office to determine if the project sho submitted to the Office for review as part of the State Environmental Qualit (SEQR) process.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-20

Case Number: **Z-26-20**

RelatedCases:

Referring Board: Town of Salina Zoning
Board of Appeals

Type of Action: SITE PLAN

Keyword: Stor Haus

Applicant: Commerce Boulevard Stor-Haus, Lt
Location: at 230 Commerce Boulevard

Tax Map ID: 026.-02-24.0

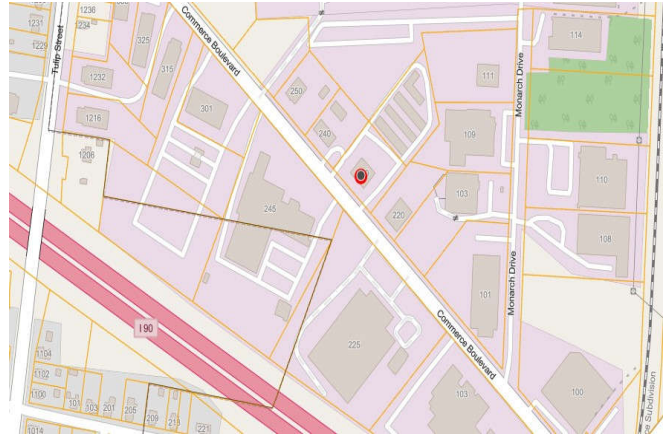
RECOMMENDATION: **No Position**

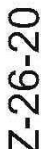
JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of the municipal boundary between the Town of Salina and the Village of Liverpool

SUMMARY:

the applicant is proposing construction of a 2,700 sf cold storage building on a 0.92-acre parcel in an Office and Light Industrial Park (O-2) zoning district





STAFF REVIEW:

Nearby Uses/Setting:	The site is located along Commerce Boulevard in an area characterized by commercial uses, distribution centers, and warehouses. Nearby uses include a clothing making company, a food redistributor, TJ Sheehan Distributing, and EAG laboratories.
Existing Site Layout:	The site contains a self-storage company in a 4,385 sf building along the Commerce Drive frontage with gravel areas located along the sides and rear.
Access:	The site has two driveways to Commerce Boulevard, a local road. No changes are proposed.
Project Detail:	The applicant proposes construction of a 2,700 sf cold storage building to be located to the rear of the main building.
Stormwater:	Per the Environmental Assessment Form (EAF) dated 1/5/26, 0.28 acres of land will be disturbed by the proposed project.
Drinking Water:	The site is served by public drinking water and no changes to the existing infrastructure are proposed.
Wastewater:	The site is served by public sewers and is located in the Metropolitan Wastewater Treatment Plant and Floradale and Liverpool Pump Stations service areas. No changes to the existing infrastructure are proposed.
Other:	The project is within 2,000 feet of a site (ID: 734065) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper).
Watersheds:	The site is located over, or immediately adjoining, a principal aquifer (per EAF Mapper).
Plants/Animals:	The site may contain the Indiana bat, or its associated habitat, which has been listed by the state or federal government as a threatened or endangered animal species (per EAF Mapper). Impacts to bat species are often associated with clearing and from aerial imagery it appears that there are no wooded areas on the site.
Historic Resources:	<p>The site or a portion of it is located in or adjacent to an area designated as a historic site for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).</p> <p>ADVISORY NOTE: NYS regulations require the applicant and/or municipality to contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality (SEQR) process.</p>

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-21

Case Number: **Z-26-21**

RelatedCases:

Referring Board: Village of Liverpool
Planning Board

Type of Action: SITE PLAN

Keyword: Liverpool Fire Department

Applicant: Liverpool Fire Department / Mark P
Location: at 1110 Oswego Street

Tax Map ID: 007.-04-01.2

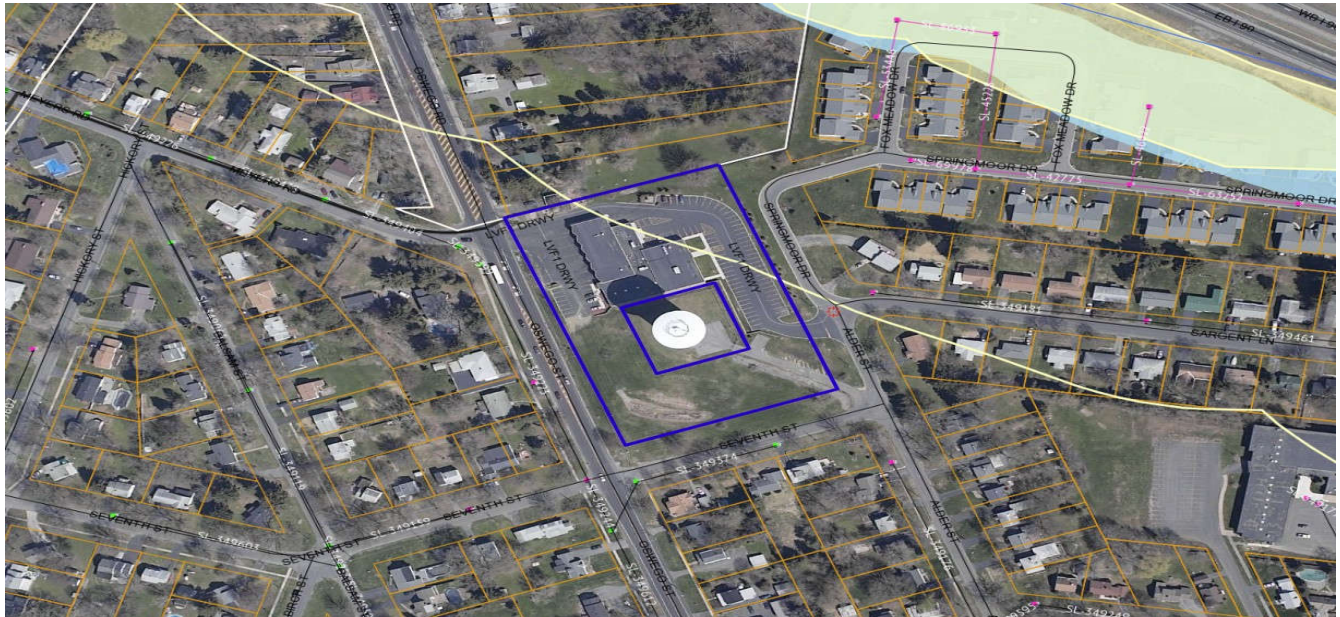
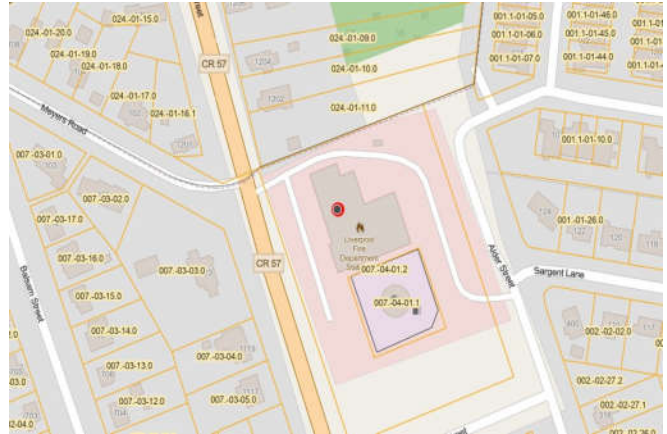
RECOMMENDATION: **No Position**

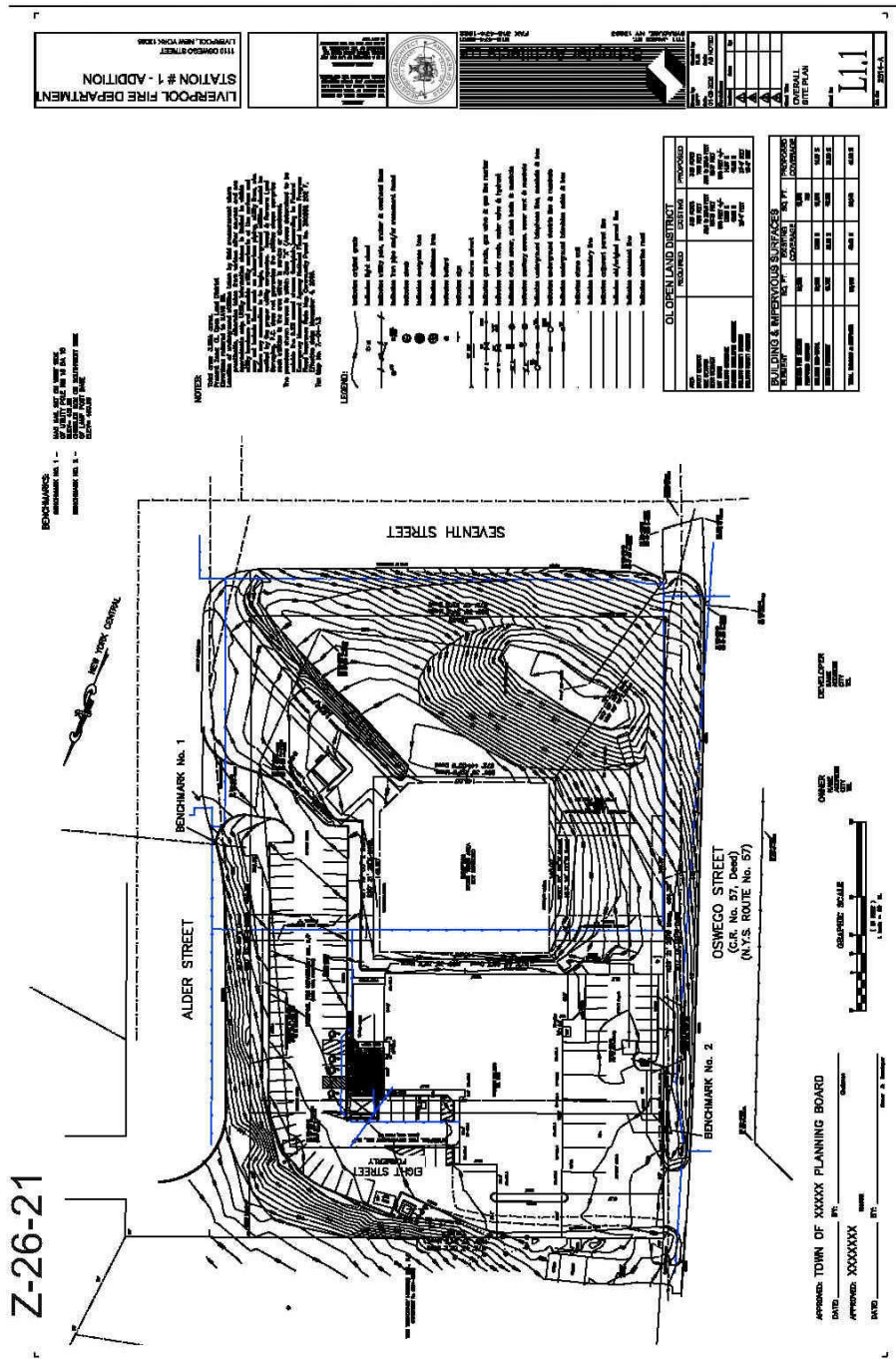
JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Oswego Street (Route 91 / Old Route 57), a county highway, and the municipal boundary between the Village of Liverpool and the Town of Salina

SUMMARY:

the Liverpool Fire Department is proposing to construct a 700 sf addition to the existing fire department on a 3.26-acre parcel in an Open Land (OL) zoning district





STAFF REVIEW:

Location: The site is the Liverpool Fire Department, a complex located within a residential neighborhood. An OCWA water tower is located on a separate parcel, encompassed by the Fire Department site.

Existing Site Layout: The site contains an approximately 19,600 sf fire department building with parking located on either side.

Project Detail: The applicant is proposing construction of a 700 sf addition to provide sleeping accommodations for 7 volunteer firefighters.

Per the Overall Site Plan and Enlarged Site Plans and Details, both dated 1/28/26, the 28'x25' addition will be constructed at the northeast corner of the existing building, in a location currently occupied by a pergola. The pergola will be removed to the parking lot, adjacent to the proposed addition.

Per the Enlarged Site Plan, a portion of the existing asphalt parking lot and concrete pavement will be removed and reconstructed to allow the addition and relocation of the pergola. Per the Architectural Narrative, the amount of pavement and concrete will remain the same at 46,162 sf.

Access: Driveway access to Oswego Street, a County route, and Alder Street, a local street. No changes are proposed.

Parking: The parking lot contains 75 spaces and no changes to the parking number of spaces will result from the proposal.

Easements: Per the Topographic Survey dated 12/4/25, multiple easements are located including an ingress & egress easement allowing access to the OCWA Water Tower over the existing driveway, two 20'-wide water main easements connecting the OCWA Tower to water lines under Alder and Oswego Streets, a 10'-wide Telephone & Electric Easement connects the OCWA Tower to the Oswego Street frontage, and a Niagara Mohawk Power Corporation Gas Easement occurs along the Oswego Street frontage.

The proposed location of the pergola appears to encroach on a Telephone easement which occurs along the Alder Street frontage before connecting to the Fire Department building.

ADVISORY NOTE: The municipality is encouraged to ensure all necessary easement permissions or permits for work within an easement are obtained.

Stormwater: Per the Environmental Assessment Form (EAF) dated 1/5/26, 0.06 acres of land will be disturbed by the proposed project and "the existing site has a stormwater management system and detention basin connected to the local municipal sewer system." Per the Enlarged Site Plan, an existing yard drain will be removed and construction of the addition.

ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), any project that cumulatively disturbs one acre or more of land must be covered by the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation.

Conservation prior to municipal approval.

Drinking Water: The site is served by public drinking water and no changes to the existing infrastructure are proposed.

ADVISORY NOTE: OCWA's Engineering Department may require the applicant to contact them to determine water availability and service options.

Wastewater: The site is served by public sewers and is located in the Metropolitan Wastewater Treatment Plant and Floradale and Liverpool Pump Stations service areas. No changes to the existing infrastructure are proposed.

ADVISORY NOTE: The Onondaga County Department of Water Environmental Protection (OCDWEP) may require capacity assurance due to a possible increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project. For coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connection>

Watersheds: The site is located over, or immediately adjoining, a principal aquifer (per EAF Mapper)

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as a historic site on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).

Plants/Animals: The site may contain the Indiana bat, or its associated habitat, which has been listed by the state or federal government as a threatened or endangered animal species (per EAF Mapper). Impacts to bat species are often associated with clearing and from aerial imagery it appears that there are no wooded areas on the site.

Other: The project is within 2,000 feet of a site (ID: 734065) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper)

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-27

Case Number: **Z-26-27**

RelatedCases:

Referring Board: Town of DeWitt Planning Board

Type of Action: SITE PLAN

Keyword: LeMoyne College

Applicant: Fouad Dietz (LeMoyne College)

Location: at 1419 Salt Springs Road

Tax Map ID: 044.-09-01.1

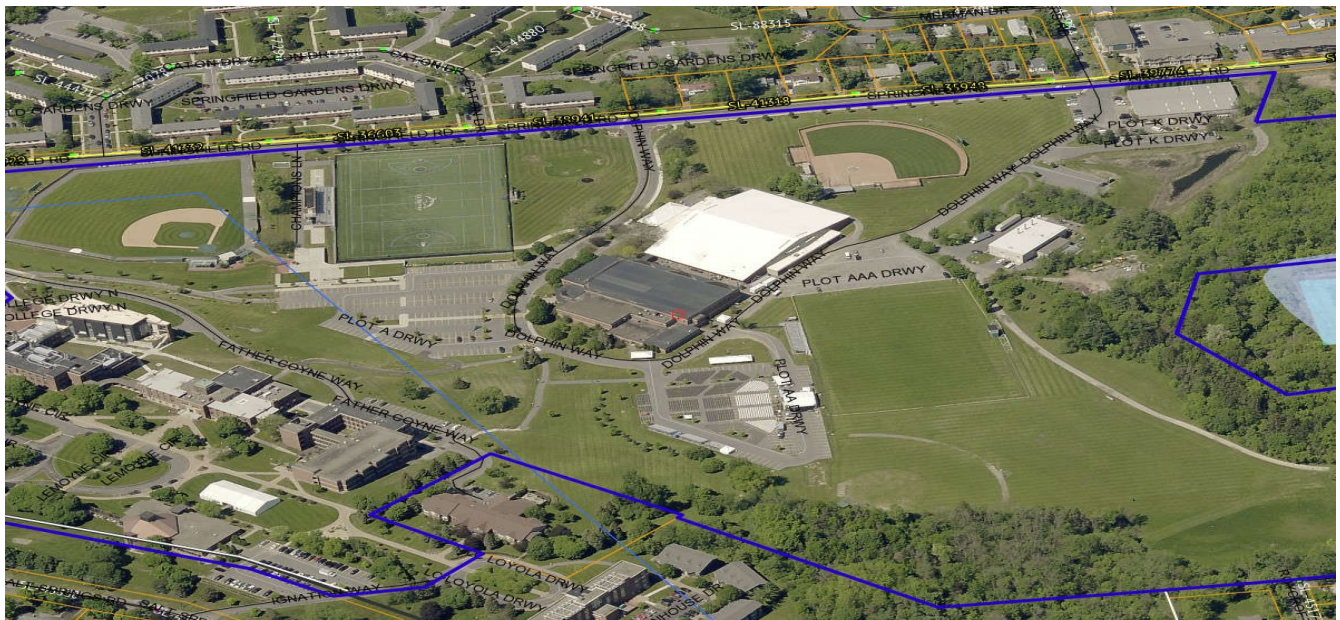
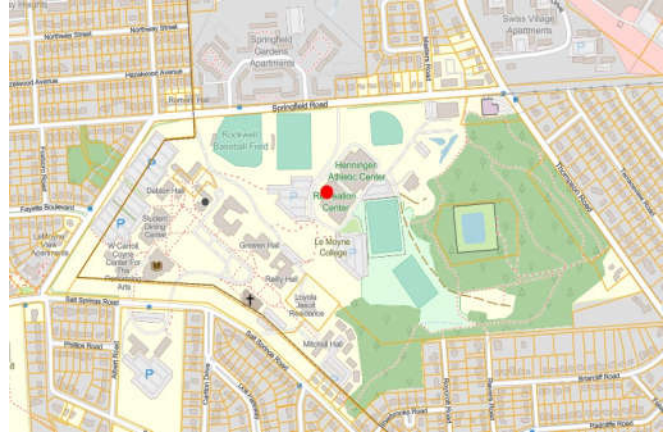
RECOMMENDATION: **No Position**

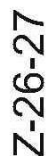
JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of the municipal boundary between the Town of DeWitt and the City of Syracuse

SUMMARY:

the applicant (LeMoyne College) is proposing construction of an 8,400 sf addition to the existing Recreation Center on a 102-acre parcel in a Residential (R-2) zoning district





STAFF REVIEW:

Past Board Reviews: The Board has reviewed numerous referrals regarding the Lemoyne College campus, most recently having No Position on a site plan referral (Z-25-92) for multiple improvements to the campus quad area. Other referrals include: per comment on a use variance referral for another parcel located at LeMoyne (Z-24-92) to allow a parking lot, encouraging the College to add pedestrian infrastructure to Salt Springs Road, connecting the campus with the adjacent neighborhood, holding No Position on site plan referrals (Z-21-119, Z-21-12) for modifications to Grewen Hall and the campus quad at Lemoyne College, and plan referrals (Z-19-107, Z-11-319) to modernize waterline infrastructure along the quad and establishing a new softball field on campus.

Location: The site contains a significant portion of the LeMoyne College campus which is located both in the Town of DeWitt and on the eastern side of the City with the subject parcel located exclusively within the Town of DeWitt. The subject parcel has frontage along Springfield and Thompson Roads and proximity to Salt Springs Road. Other surrounding land uses include various residential properties.

Existing Site Layout: The subject area is the Recreation Center and Athletic Center complex at the college campus, surrounded by athletic fields, parking lots, and lawn.

Project Detail: Per the Site Layout Plan dated 12/18/25, the applicant proposes to construct an 8,400 sf addition to the front corner of the Recreation Center to allow for the renovation of the existing exercise and sports facilities." This addition will occupy an area currently covered by lawn and trees and will require reconstruction of a sidewalk in that area.

Landscaping: Per the Site Planting Plan dated 12/18/25, new trees, plantings, and landscape beds will be installed in the area around the proposed addition.

Stormwater: Per the Environmental Assessment Form (EAF) dated 12/18/25, 0.70 acres of site will be disturbed by the proposed project and "stormwater will be directed to existing campus stormwater conveyance systems and stormwater management practices currently in use.

ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), a project that cumulatively disturbs one acre or more of land must be covered by the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval.

Drinking Water: The addition will connect to existing public drinking water infrastructure.

Wastewater: The addition will connect to existing public sewer infrastructure. The site is located in the Metropolitan Wastewater Treatment Plant service area.

ADVISORY NOTE: The Onondaga County Department of Water Environmental Protection (OCDWEP) may require capacity assurance due to a possible increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project and coordinate with the municipal engineer. The Capacity Assurance Form and

approval process can now be found online: <http://ongov.net/wep/connection>

ADVISORY NOTE: Per the Onondaga County Department of Water Environmental Protection, any and all demolition of buildings requires a permit for sewer disconnects. The applicant must contact Plumbing Control to ensure appropriate permits are obtained.

Watersheds: A portion of the site is located in an Onondaga County Drainage District for Trap and Ley Creek, which is maintained by the Department of Water Environmental Protection in this area.

Plants/Animals: The site may contain the Northern long-eared bat, or its associated habitat, has been listed by the state or federal government as a threatened or endangered animal species (per EAF Mapper). Impacts to bat species are often associated with tree clearing and per the referral, more plantings and trees will be installed as part of this project.

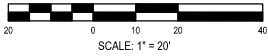
ADVISORY NOTE: Per the NYS Department of Environmental Conservation, if the site contains a threatened or endangered species and/or associated habitat and the project requires review under the State Environmental Quality Review Act (SEQRA), a request for a project screening should be submitted to the New York State Natural Heritage Program or to the regional DEC Division of Environmental Planning office.

ADVISORY NOTE: Per GML § 239-nn, the legislative body or other authorized body having jurisdiction in a municipality shall give notice to an adjacent municipality when a hearing is held by such body relating to a subdivision, special use permit, or a use variance on property that is within five hundred feet of an adjacent municipality. Such notice shall be given by mail or electronic transmission to the clerk of the adjacent municipality at least ten days prior to such hearing.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*



TAFT ROAD BRANCH CONCEPTUAL SITE PLAN
THE SUMMIT FEDERAL CREDIT UNION





NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

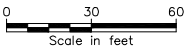
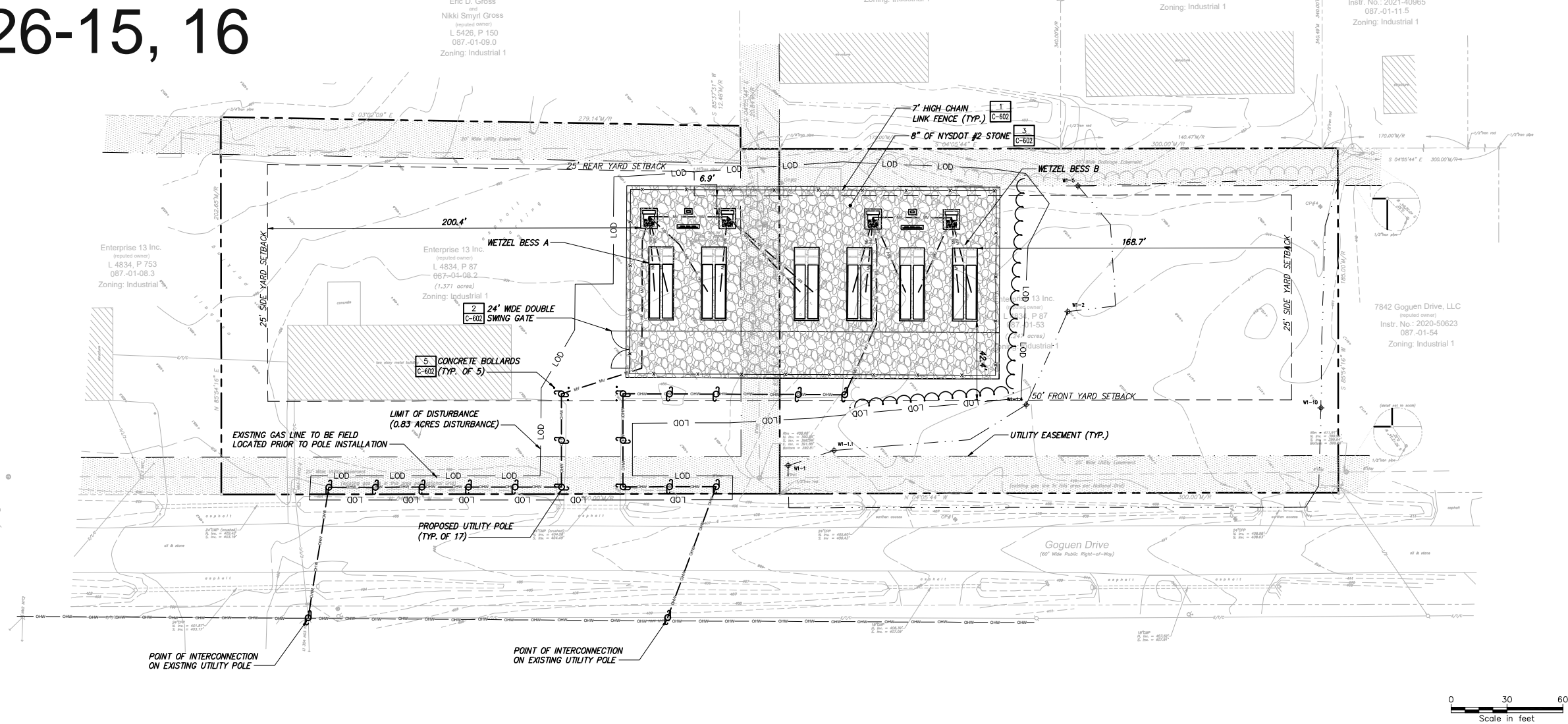


EXISTING	LEGEND	PROPOSED
	PROPERTY LINE	
	PROPERTY SETBACK LINE	
	ADJOINING PROPERTY LINE	
	RIGHT OF WAY LINE	
	CHAIN LINK FENCE	
	OVERHEAD UTILITY WIRE	
	UNDERGROUND UTILITY WIRE	
	UNDERGROUND GAS LINE (APPROXIMATE LOCATION)	
	UNDERGROUND WATER LINE (APPROXIMATE LOCATION)	
	STORM PIPE	
	MAJOR CONTOUR (5' INTERVAL)	
	MINOR CONTOUR (1' INTERVAL)	
	EDGE OF WOODS	
	FOUND IRON/REBAR	
	FOUND MONUMENT	
	UTILITY POLE	
	GWY WIRE	
	CATCH BASIN	
	WATER VALVE	

DRAWING NUMBER:

5.0

Z-26-15, 16



DIMENSIONAL REGULATIONS		
ZONING DISTRICT: (INDUSTRIAL I-1)		
	REQUIRED	PROVIDED
MINIMUM LOT AREA	N/A	2.645 (AC)
MINIMUM LOT WIDTH	N/A	600 (FT)
COVERAGE, MAX BLDG	60%	4.2%
COVERAGE, MAX TOTAL	80%	46.9%
FRONT SETBACK	50 (FT)	92.4 (FT)
REAR SETBACK	25 (FT)	31.9 (FT)
SIDE SETBACK(S)	25 (FT) BOTH	193.7 (FT)
MAX BUILDING HEIGHT	N/A	10 (FT)

BESS A SYSTEM INFO	
CAPACITY (MWh)	20.6
AC POWER RATING (MW)	5.0

BESS B SYSTEM INFO	
CAPACITY (MWh)	20.6
AC POWER RATING (MW)	5.0

THIS IS A PRELIMINARY DRAWING. IT IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THE DESIGN SHALL BE MADE BY THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER SHALL BE RESPONSIBLE FOR THE COMPLETION OF THE PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE OPERATION OF THE PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE REPAIR OF THE PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF THE PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE RECONSTRUCTION OF THE PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE REPAIR OF THE PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF THE PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE RECONSTRUCTION OF THE PROJECT.

WETZEL BESS A&B
7846 & 7850 GOGUEN RD
CLAY, NY 13090

SITE LAYOUT PLAN

Designed By:	Drawn By:	Checked By:
JM	JO	JR
Issue Date:	Project No.:	Scale:
12/22/25	104932	AS SHOWN

Drawing No.:

C-101

Z-26-25, 26

Rev.	Date	Description
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JILL E. FUDO, ARCHITECT
NEW YORK LIC. 030109
EXPIRATION: 8/31/2027
2543 Marrow Road, Auburn, NY 13021
315.834.3093 | drawings@jefudo-ae.com
SBA Certified Women-Owned Small Business
WBENC Women-Owned Small Business
NYS Certified Women-Owned Business Enterprise

SITE PLAN
SIMPLE ROAST -
MODULAR
11/24/2025

DO NOT SCALE DRAWINGS
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS
AT THE SITE AND PROMPTLY NOTIFY THE
ARCHITECT IN WRITING OF ANY DISCREPANCIES.
ALL DRAWINGS AND SPECIFICATIONS ARE THE
PROPERTY OF THE ARCHITECT AND SHALL BE USED
ONLY ON THE JOB DESIGNATED.

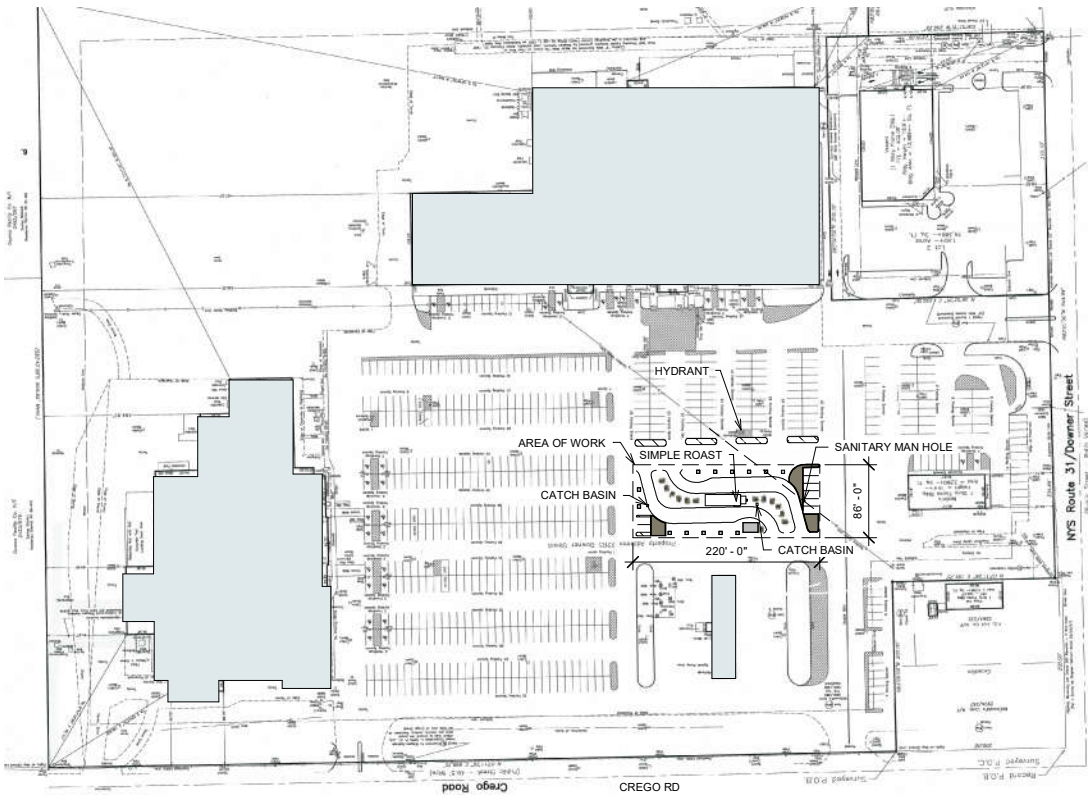
COPYRIGHT 2025

ANY AND ALL ALTERATIONS TO THIS DRAWING OR
DOCUMENT BY ANY PERSON, UNLESS ACTING
UNDER THE DIRECTION OF A LICENSED ARCHITECT
ARE STRICTLY PROHIBITED. ANY SUCH
ALTERATIONS SHALL BE NOTED, SEALED, AND
SIGNED BY THE ALTERING ARCHITECT IN
ACCORDANCE WITH THE REQUIREMENTS OF
STATE LAW.

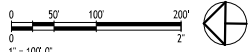
THE OWNER SHALL NOT USE DOCUMENTS
GENERATED BY ARCHITECT FOR MARKETING
PURPOSES, FOR PROJECTS OTHER THAN THAT
FOR WHICH THE DOCUMENT WAS PREPARED, OR
FOR FUTURE MODIFICATIONS TO THE PROJECT.
WITHOUT ARCHITECT'S EXPRESS WRITTEN
PERMISSION, ANY RE-USE OR DISTRIBUTION TO
THIRD PARTIES WITHOUT SUCH EXPRESS WRITTEN
PERMISSION OR PROJECT SPECIFIC ADAPTATION
BY ARCHITECT WILL BE AT THE OWNER'S SOLE
RISK AND WITHOUT LIABILITY TO ARCHITECT OR ITS
EMPLOYEES, SUBSIDIARIES, INDEPENDENT
PROFESSIONAL ASSOCIATES, SUB CONSULTANTS
AND SUBCONTRACTORS. OWNER SHALL, TO THE
FULLEST EXTENT PERMITTED BY LAW, DEFEND,
INDEMNIFY AND HOLD HARMLESS ARCHITECT
FROM AND AGAINST ANY AND ALL COSTS,
EXPENSES, FEES, LOSSES, CLAIMS, DEMANDS,
LIABILITY, SUITS, ACTIONS, AND DAMAGES,
WHATSOEVER ARISING OUT OF OR RESULTING
FROM SUCH UNAUTHORIZED RE-USE OR
DISTRIBUTION.

ARCHITECT HAS OVERSEEN AND COORDINATED
BUILDING DESIGN INCLUDING LIFE SAFETY, FLOOR
PLANS, ELEVATIONS, ARCHITECTURAL DETAILING,
ARCHITECTURAL FEATURES, SPECIFICATIONS AND
ANY ASPECT RELATED TO HUMAN HABITATION OF
BUILDING AND THE COORDINATION OF ANY
ELEMENT OF TECHNICAL SUBMISSIONS PREPARED
BY OTHERS, INCLUDING BUT NOT LIMITED TO
ENGINEERS AND LANDSCAPE ARCHITECTS, AS
APPROPRIATE. THE PRACTICE OF ARCHITECTURE
AS IT PERTAINS TO THIS PROJECT SHALL NOT
INCLUDE THE PRACTICE OF ENGINEERING,
MECHANICAL, ELECTRICAL AND PLUMBING
BUILDING SYSTEMS OR CIVIL ENGINEERING.

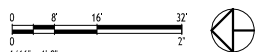
ANY MEP EQUIPMENT OR FIXTURES SHOWN ON
ARCHITECTURAL DOCUMENTS ARE FOR
COORDINATION PURPOSES ONLY. ALL FINAL
TRADE DRAWINGS, PLANS, AND OTHER
DOCUMENTS MUST BE SIGNED AND STAMPED BY A
LICENSED ENGINEER IN RESPONSIBLE CHARGE OF
THEIR PREPARATION. PROFESSIONAL LICENSING
LAWS REQUIRE THAT ALL PROFESSIONALS
PRACTICE WITHIN THEIR RESPECTIVE AREAS OF
KNOWLEDGE AND EXPERTISE AND SHALL BE
RESPONSIBLE FOR DESIGN, EQUIPMENT
SELECTION, SERVICE SIZING, TERMINATIONS, ETC.



1 OVERALL SITE PLAN
G-001 1" = 100'-0"



2 ENLARGED SITE PLAN
G-001 1/16" = 1'-0"



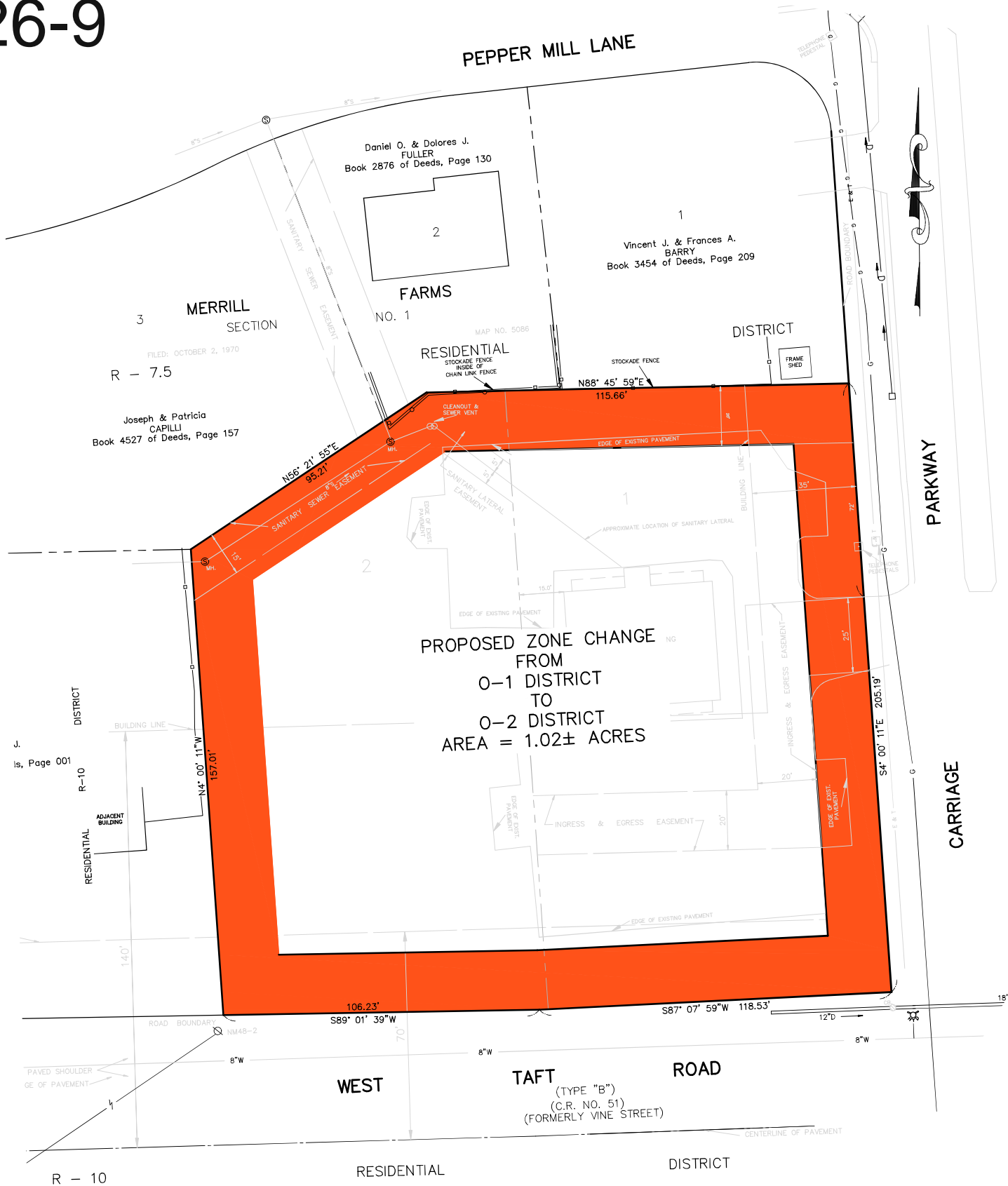
SITE PLAN
SIMPLE ROAST - MODULAR

DOWNER STREET RD, BALDWINVILLE, NY 13027

Project number	741-SH-25-008
Date	11/24/2025
Drawn by	Author
Scale	As indicated

G-001

Z-26-9



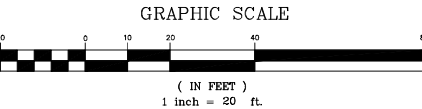
LOCATION PLAN
Scale: 1" = 1000'

LEGEND:

- ☆ LS indicates light stand
- indicates utility pole, anchor & overhead lines
- PFF indicates iron pipe and/or monument found
- indicates bollard
- indicates sign
- indicates storm culvert
- indicates gas main, gas valve & gas line marker
- indicates water main, water valve & hydrant
- indicates storm sewer, catch basin & manhole
- indicates sanitary sewer, sewer vent & manhole
- indicates underground telephone line, manhole & box
- indicates underground electric line & manhole
- indicates underground television cable & box
- indicates 6" diameter bollard (typical)
- indicates 6" diameter monitoring well (typical)
- ⊙ indicates grease trap manhole
- ⊙ indicates manhole
- indicates boundary line
- indicates adjacent parcel line
- indicates old/original parcel line
- indicates easement line
- indicates centerline road

NOTES:

Total area: 1.02± acres.
Present Zone: O-1 District (Existing); O-2 District (Proposed)
All lots are for nonresidential use only
Tax Map No. 107.-14-26.1 & 27.1



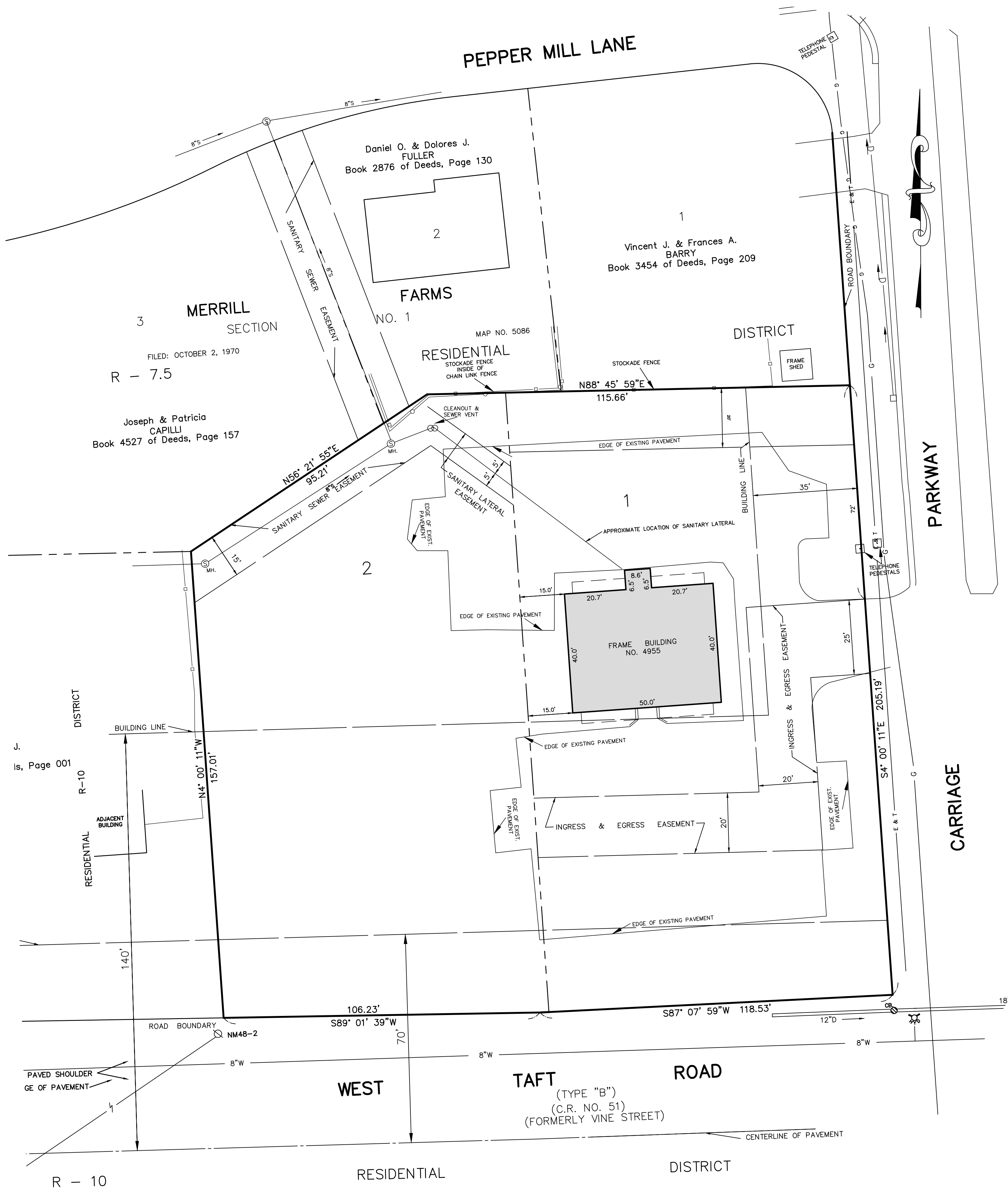
Subject to any statement of facts on accurate and up to date abstract of title will show.
Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

\\server\land\projects\48000\Land\LOT15 1-2 TAFT ROAD OFFICE 3C MAP.dwg

REVISIONS	12/15/2025	
PROPOSED ZONE CHANGE FROM O-1 OFFICE DISTRICT TO O-2 OFFICE DISTRICT		
TOWN OF CLAY ONONDAGA COUNTY, NEW YORK		
IANUZI & ROMANS LAND SURVEYING, P.C.		DATE: JUNE 24, 2005
5251 WITZ DRIVE NORTH SYRACUSE, NY 13212 PHONE: (315) 457-7200 FAX: (315) 457-9251 EMAIL: mail@romanspc.com		SCALE: 1" = 20'
FILE No.: 980.001		SHEET No.
		P.B. No. X

FILED MAP INFORMATION:

Name: Taft Road Professional Office Park
Filed: June 14, 2005
Map No. 10203



- LEGEND:
- ☆ LS indicates light stand
 - indicates utility pole, anchor & overhead lines
 - IPF indicates iron pipe and/or monument found
 - indicates bollard
 - indicates sign
 - 12" CSP — indicates storm culvert
 - 6" G — indicates gas main, gas valve & gas line marker
 - 8" W — indicates water main, water valve & hydrant
 - 18" D — indicates storm sewer, catch basin & manhole
 - 8" S — indicates sanitary sewer, sewer vent & manhole
 - TEL — indicates underground telephone line, manhole & box
 - UE — indicates underground electric line & manhole
 - CATV — indicates underground television cable & box
 - indicates 6" diameter bollard (typical)
 - ⊙ indicates 6" diameter monitoring well (typical)
 - ⊙ indicates grease trap manhole
 - ⊙ indicates manhole
 - indicates boundary line
 - indicates adjacent parcel line
 - indicates old/original parcel line
 - indicates easement line
 - indicates centerline road

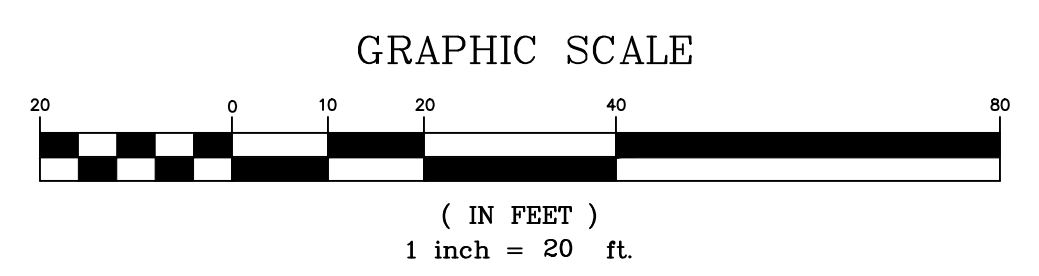


LOCATION PLAN
Scale: 1" = 1000'

NOTES:

Total area: 1.02± acres.
Present Zone: 0-1 District (Existing); 0-2 District (Proposed)
All lots are for nonresidential use only
Tax Map No. 107.-14-26.1 & 27.1

Subject to any statement of facts on accurate and up to date abstract of title will show.
Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.



FILED MAP INFORMATION:

Name: Taft Road Professional Office Park
Filed: June 14, 2005
Map No. 10203

REVISIONS		LOT Nos. 1 & 2		
	12/15/2025	TAFT ROAD PROFESSIONAL OFFICE PARK		
		TOWN OF CLAY		
		ONONDAGA COUNTY, NEW YORK		
		IANUZI & ROMANS LAND SURVEYING, P.C.		DATE: JUNE 24, 2005
		NORTH SYRACUSE, NY 13212		SCALE: 1" = 20'
		PHONE: (315) 457-7200		FILE No.: 980.001
		FAX: (315) 457-9251		F.B. No. X
		EMAIL: mail@romanspc.com		

Z-26-14a



LOCATION PLAN
Scale: 1" = 2000'

LEGEND:

- indicates utility pole, anchor & overhead lines
- PF indicates iron pipe and/or monument found
- indicates bollard
- indicates sign
- indicates storm culvert
- indicates gas main, gas valve & gas line marker
- indicates water main, water valve & hydrant
- indicates storm sewer, catch basin & manhole
- indicates sanitary sewer, sewer vent & manhole
- indicates underground telephone line, manhole & box
- indicates underground electric line & manhole
- indicates underground television cable & box
- indicates boundary line
- indicates adjacent parcel line
- indicates old/original parcel line
- indicates easement line
- indicates centerline road

PROPOSED GENERAL COMMERCIAL DISTRICT
AREA, YARD AND BULK REGULATIONS

- Per Code
- Minimum Building Line (feet) = 100
- Minimum Lot Depth (feet) = 200
- Minimum Front Yard Setback (feet) = 50
- Minimum Rear Yard Setback (feet) = 25
- Minimum Side Yard Setback (feet) = 15
- Maximum Building Coverage = 40%
- Maximum Building Height (feet) = 60

LOT No. 1
NORTHERN PINE MEADOWS
SUBDIVISION*
FILED: JANUARY 19, 2010
MAP NO. 11148
AGRICULTURAL DISTRICT

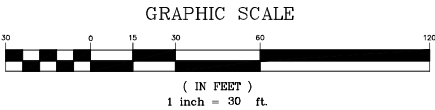
LOT No. 1
NORTHERN PINE MEADOWS
SUBDIVISION*
FILED: JANUARY 19, 2010
MAP NO. 11148
AGRICULTURAL DISTRICT

ZONE CHANGE
FROM
AGRICULTURAL DISTRICT
TO
GENERAL COMMERCIAL DISTRICT
AREA = 1.993± ACRES
(86,824± SQ.FT.)

TOWN OF CICERO
(REPUTED OWNER)
BOOK 5365, PAGE 641
AGRICULTURAL DISTRICT

NOTES:

- Total area: 1.993± acres.
- Total number of lots: Two (2)
- Present Zone: Agricultural District
- Proposed Zone: General Commercial District
- Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only. Utility information shown is limited to visible utility hardware and possible utility markouts at the surface and may not include items such as subsurface piping, utility lines, etc. Before any excavation is to begin, underground utilities should be verified by the proper utility companies. Ianuzi & Romans Land Surveying, P.C. does not guarantee the utilities shown comprise such utilities in the area either in service or abandoned.
- The premises shown hereon is within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain.) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 36067C0116F, Effective date: November 4, 2016.
- Tax Map Nos. 61.-01-15.1 & 15.2



NEW YORK STATE ROUTE No. 31

Subject to any statement of facts on accurate and up to date abstract of title will arise.

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

REVISIONS	ZONE CHANGE FROM AGRICULTURAL DISTRICT TO GENERAL COMMERCIAL DISTRICT PART OF LOT No. 57 TOWN OF CICERO ONONDAGA COUNTY, NEW YORK		
	IANUZI & ROMANS LAND SURVEYING, P.C. 5251 WITZ DRIVE NORTH SYRACUSE, NY 13212 PHONE: (315) 457-7200 FAX: (315) 457-9251 EMAIL: mail@romanspc.com		
DATE: OCTOBER 21, 2025		SCALE: 1" = 30'	SHEET No.
FILE No.: 11757.004			F.B. No.

Z-26-14b

TRACT*

LEGEND:

- indicates utility pole, anchor & overhead lines
- indicates iron pipe and/or monument found
- indicates bollard
- indicates sign
- indicates storm culvert
- indicates gas main, gas valve & gas line marker
- indicates water main, water valve & hydrant
- indicates storm sewer, catch basin & manhole
- indicates sanitary sewer, sewer vent & manhole
- indicates underground telephone line, manhole & box
- indicates underground electric line & manhole
- indicates underground television cable & box
- indicates boundary line
- indicates adjacent parcel line
- indicates old/original parcel line
- indicates easement line
- indicates centerline road

PROPOSED GENERAL COMMERCIAL DISTRICT
AREA, YARD AND BULK REGULATIONS

- Per Code
- Minimum Building Line (feet) = 100
 - Minimum Lot Depth (feet) = 200
 - Minimum Front Yard Setback (feet) = 50
 - Minimum Rear Yard Setback (feet) = 25
 - Minimum Side Yard Setback (feet) = 15
 - Maximum Building Coverage = 40%
 - Maximum Building Height (feet) = 60

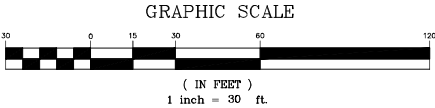
LOT No. 1
NORTHERN PINE MEADOWS
SUBDIVISION*
FILED: JANUARY 19, 2010
MAP NO. 11148
AGRICULTURAL DISTRICT

LOT No. 1
NORTHERN PINE MEADOWS
SUBDIVISION*
FILED: JANUARY 19, 2010
MAP NO. 11148
AGRICULTURAL DISTRICT

TOWN OF CICERO
(REPUTED OWNER)
BOOK 5368, PAGE 641
AGRICULTURAL DISTRICT

NOTES:

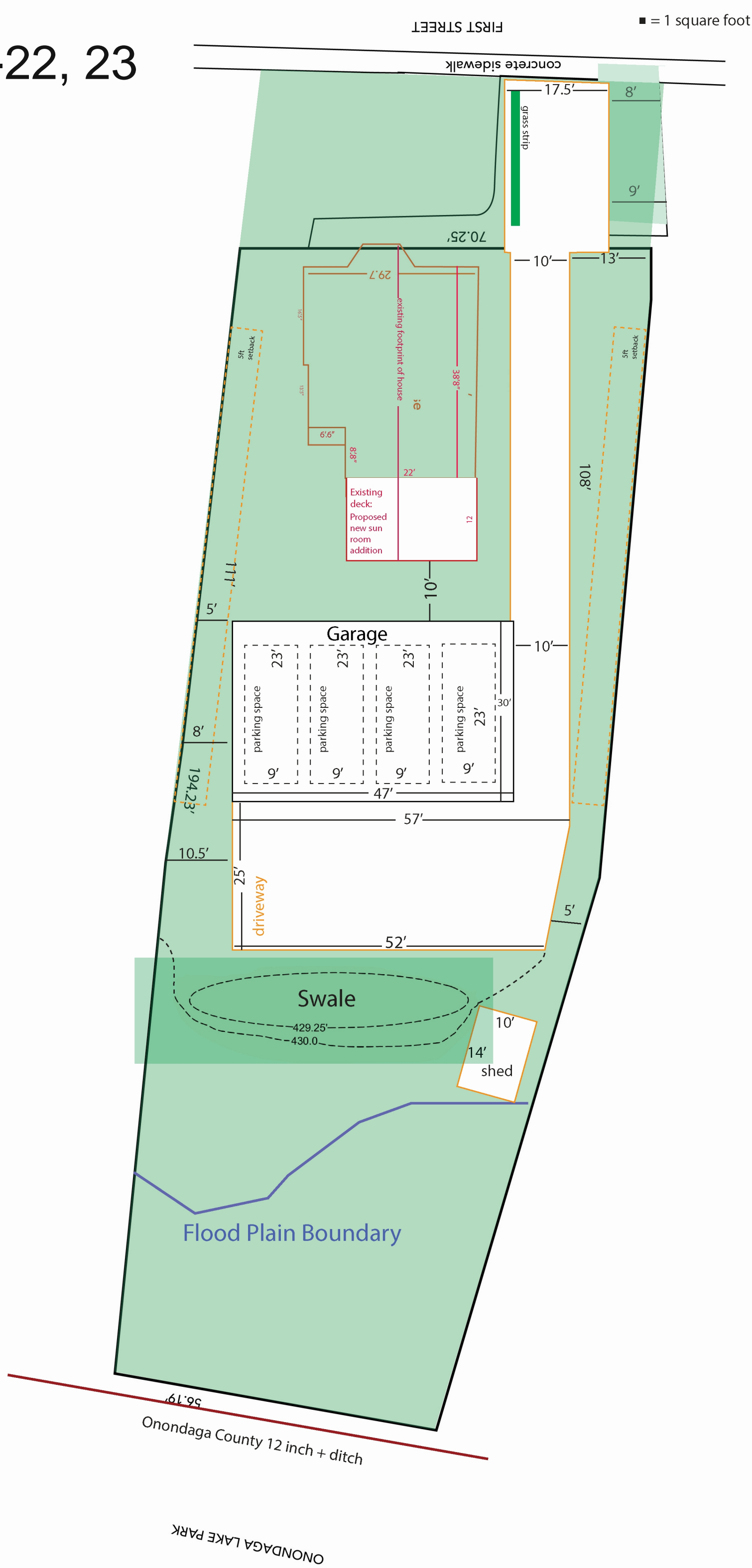
Total area: 1.993± acres.
Total number of lots: Two (2)
Present Zone: Agricultural District
Proposed Zone: General Commercial District
Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only. Utility information shown is limited to visible utility hardware and possible utility markouts at the surface and may not include items such as subsurface piping, utility lines, etc. Before any excavation is to begin, underground utilities should be verified by the proper utility companies. Ianuzi & Romans Land Surveying, P.C. does not guarantee the utilities shown comprise such utilities in the area either in service or abandoned.
The premises shown hereon is within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain.) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 36067C0116F, Effective date: November 4, 2016.
Tax Map Nos. 61.-01-15.1 & 15.2



NEW YORK STATE ROUTE No. 31

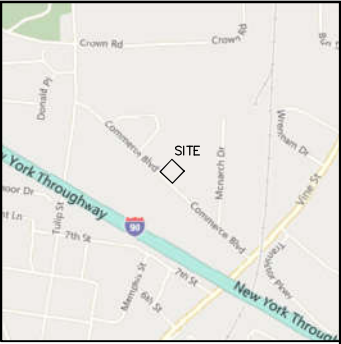
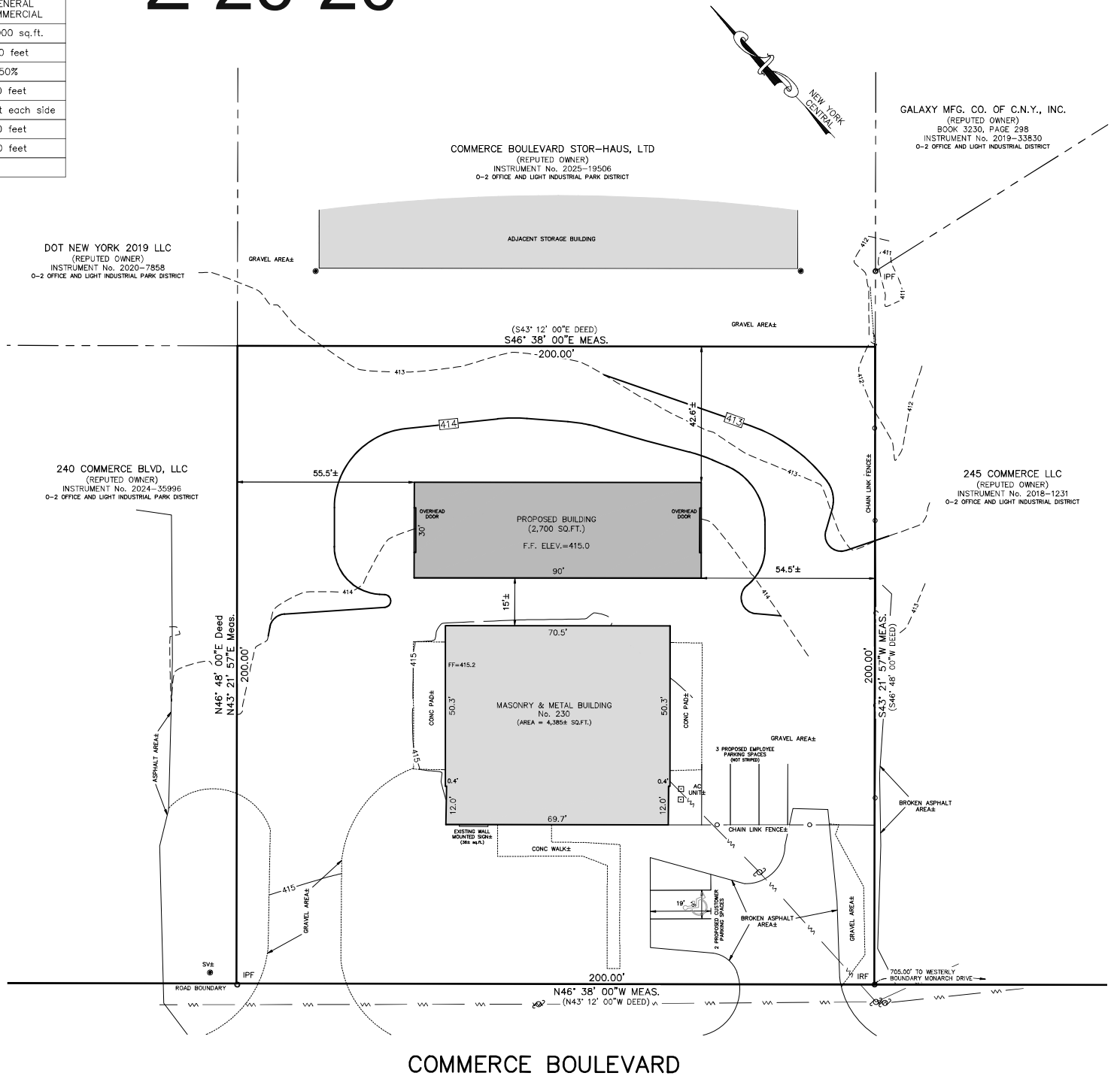
REVISIONS	SKETCH PLAN		
	6668 & 6674 N.Y.S. ROUTE No. 31		
	PART OF LOT No. 57 TOWN OF CICERO ONONDAGA COUNTY, NEW YORK		
	 IANUZI & ROMANS LAND SURVEYING, P.C. 5251 WITZ DRIVE NORTH SYRACUSE, NY 13212 PHONE: (315) 457-7200 FAX: (315) 457-9251 EMAIL: mail@romanspc.com	DATE: NOVEMBER 17, 2025 SCALE: 1" = 30' FILE No.: 11757.004	SHEET No. F.B. No.

Z-26-22, 23



BULK REGULATIONS	
PRESENT ZONE:	GENERAL COMMERCIAL
Minimum Lot Area	20,000 sq.ft.
Minimum Lot Width	100 feet
Maximum Lot Coverage	50%
Minimum Front Yard Setback	50 feet
Minimum Side Yard Setback	20 feet each side
Minimum Rear Yard Setback	20 feet
Maximum Height of Structures	30 feet

Z-26-20



LOCATION PLAN
Scale: 1" = 500'

NOTES:

Total area: 0.92± acres.
Total number of lots: 1
Present Zone: O-2 Office and Light Industrial Park District
Elevations referred to NAVD 88.
Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only. Utility information shown is limited to visible utility hardware and possible utility markouts at the surface and may not include items such as subsurface piping, utility lines, etc. Before any excavation is to begin, underground utilities should be verified by the proper utility companies. Ianuzi & Romans Land Surveying, P.C. does not guarantee the utilities shown comprise such utilities in the area either in service or abandoned.
The premises shown hereon is within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain.) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 360591202F, Effective date: November 4, 2016.
Tax Map No. 26.-02-24

LEGEND:

- 412 — indicates original grade
- 412 — indicates proposed finished grade
- ☆ LS indicates light stand
- / — indicates utility pole, anchor & overhead lines
- IPF indicates iron pipe and/or monument found
- indicates bollard
- indicates sign
- 12" CSP — indicates storm culvert
- 6" G — indicates gas main, gas valve & gas line marker
- 8" W — indicates water main, water valve & hydrant
- 18" D — indicates storm sewer, catch basin & manhole
- 18" S — indicates sanitary sewer, sewer vent & manhole
- TEL — indicates underground telephone line, manhole & box
- UE — indicates underground electric line & manhole
- CATV — indicates underground television cable & box
- indicates boundary line
- indicates adjacent parcel line
- indicates old/original parcel line
- indicates easement line
- indicates centerline road

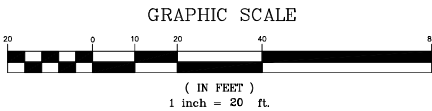
STATEMENT OF USE:

This site serves as an office for the adjoining Stor-Haus self storage facility. The existing 4,385 sq.ft. building is used for a business office, work shop and for storage of equipment used for the upkeep of the properties. Applicant is seeking site plan approval to construct a 2,700 sq.ft. cold storage building that will be used to store the equipment currently stored in the existing building. This will free up space in the existing building and allow the workshop to be used as a workshop without having to move equipment around.

- Office Hours of Operation:
Mon. – Fri.: 7am – 3pm
- Total number of Employees on site at any given time: 2
- Total number of Customers that visit the office: Max of 2 per day

SITE PLAN NOTES:

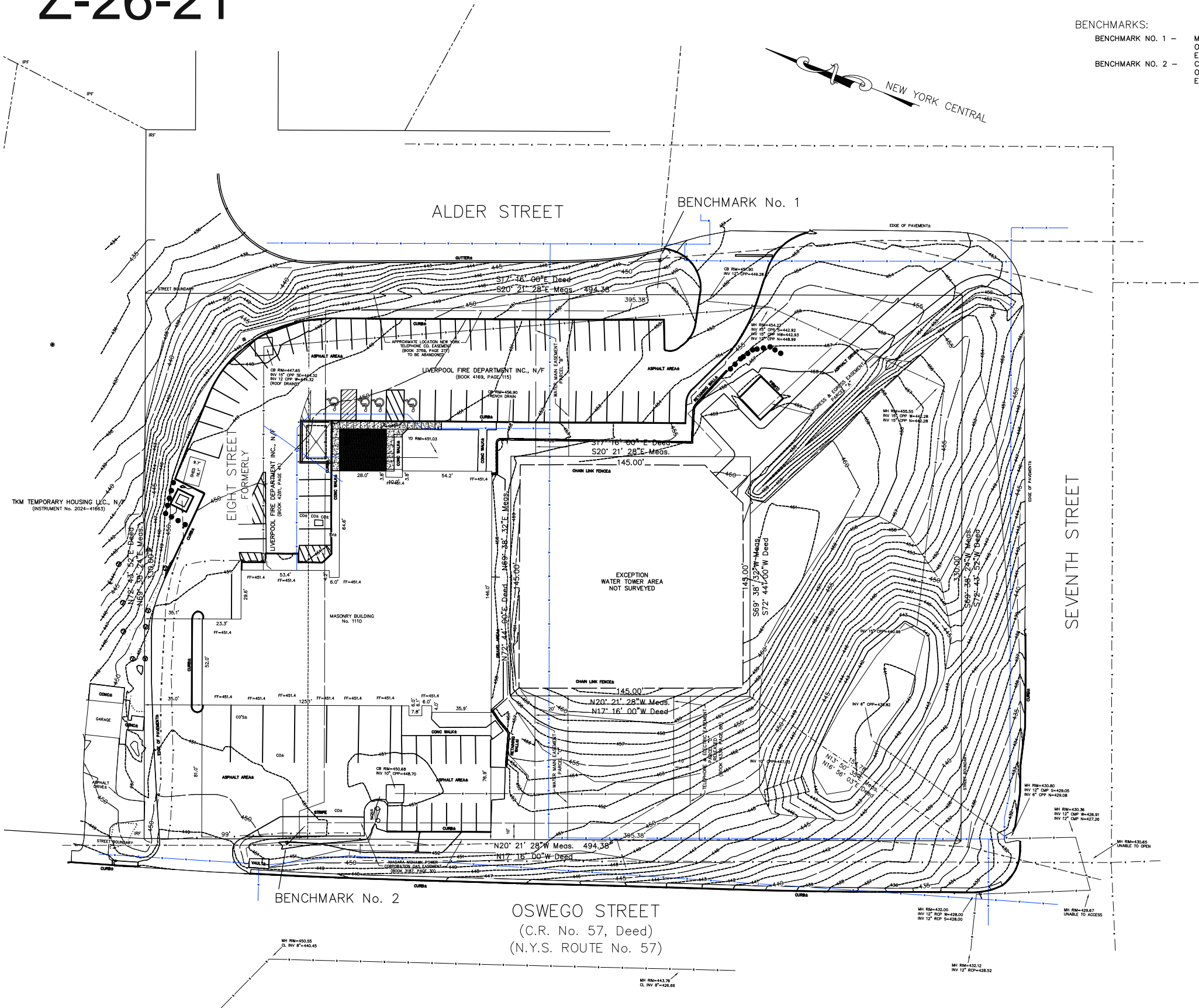
No new proposed utilities.
No proposed changes in water usage.
No changes to existing use.
Proposed building will be gray with black trim and roof.
Existing building will be painted to match.
No new site lighting proposed.
No new signage proposed.



REVISIONS	SITE PLAN – PROPOSED FEATURES			
	No. 230 COMMERCE BOULEVARD			
	PART OF LOT No. 1			
	TOWN OF SALINA			
	ONONDAGA COUNTY, NEW YORK			
	IANUZI & ROMANS LAND SURVEYING, P.C. 5251 WITZ DRIVE NORTH SYRACUSE, NY 13212 PHONE: (315) 457-7200 FAX: (315) 457-9251 EMAIL: mail@romanspc.com		DATE: DECEMBER 30, 2025 SCALE: 1" = 20' FILE No.: 13550.001	SHEET No. 2 OF 2 F.B. No. 940

Subject to any statement of facts on accurate and up to date abstract of title will show.
Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
\\SERVER\GIS\20 Projects\ONONDAGA COUNTY\SALINA\COMMERCE BOULEVARD_230\map\COMMERCE BOULEVARD_230-SP.dwg

Z-26-21



BENCHMARKS:
BENCHMARK NO. 1 - MAG NAIL SET ON WEST SIDE OF UTILITY POLE NM 18 BA 18 ELEV= 451.08
BENCHMARK NO. 2 - CHISELED BOX ON SOUTHWEST SIDE OF LAMP POST BASE ELEV= 450.96

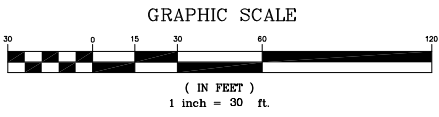
NOTES:
Total area: 3.26± acres.
Present Zone: OL Open Land District
Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only. Utility information shown is limited to visible utility hardware and possible utility markouts at the surface and may not include items such as subsurface piping, utility lines, etc. Before any excavation is to begin, underground utilities should be verified by the proper utility companies. Ianuzzi & Romans Land Surveying, P.C. does not guarantee the utilities shown comprise such utilities in the area either in service or abandoned.
The premises shown hereon is within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 360582 202 F, Effective date: November 4, 2016.
Tax Map No. 7.-04-1.2

- LEGEND:
- indicates original grade
 - ☆ LS indicates light stand
 - indicates utility pole, anchor & overhead lines
 - IFF indicates iron pipe and/or monument found
 - indicates shrub
 - indicates evergreen tree
 - indicates deciduous tree
 - indicates bollard
 - indicates sign
 - indicates storm culvert
 - indicates gas main, gas valve & gas line marker
 - indicates water main, water valve & hydrant
 - indicates storm sewer, catch basin & manhole
 - indicates sanitary sewer, sewer vent & manhole
 - indicates underground telephone line, manhole & box
 - indicates underground electric line & manhole
 - indicates underground television cable & box
 - indicates stone wall
 - indicates boundary line
 - indicates adjacent parcel line
 - indicates old/original parcel line
 - indicates easement line
 - indicates centerline road

OL OPEN LAND DISTRICT			
	REQUIRED	EXISTING	PROPOSED
AREA		3.26 ACRES	3.26 ACRES
FRONT SETBACK		78.9 FEET	78.9 FEET
SIDE SETBACK		35.0 & 284.6 FEET	35.0 & 284.6 FEET
REAR SETBACK		107.16 FEET	82.17 FEET
LOT WIDTH		578 FEET +/-	578 FEET +/-
BUILDING COVERAGE		13.58 %	14.07 %
MAXIMUM DEVELOPED COVERAGE		46.08 %	46.58 %
BUILDING HEIGHT EXISTING		23'-0" FEET	23'-0" FEET
BUILDING HEIGHT ADDITION			15'-0" FEET

BUILDING & IMPERVIOUS SURFACES				
ELEMENT	SQ. FT.	EXISTING COVERAGE	SQ. FT.	PROPOSED COVERAGE
EXISTING FIRE STATION	19,278		19,278	
PROPOSED ADDITION			700	
BUILDING SUB-TOTAL	19,278	13.58 %	19,978	14.07 %
EXISTING PAVEMENT	46,162	32.50 %	46,162	32.50 %
TOTAL BUILDING & SURFACES	65,440	46.08 %	66,140	46.58 %

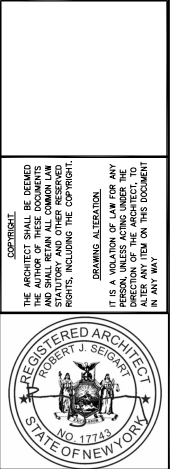
APPROVED: TOWN OF XXXXX PLANNING BOARD
DATE: _____ BY: _____ Chairman
APPROVED: XXXXXXXX
DATE: _____ BY: _____ Owner & Developer



OWNER
NAME
ADDRESS
CITY
TEL

DEVELOPER
NAME
ADDRESS
CITY
TEL

LIVERPOOL FIRE DEPARTMENT
STATION # 1 - ADDITION
1110 OSWEGO STREET
LIVERPOOL, NEW YORK 13088



Schopfer Architects LLP
315-474-6501
FAX 315-474-1922
1111 JAMES ST.
STRACUSE, NY 13203

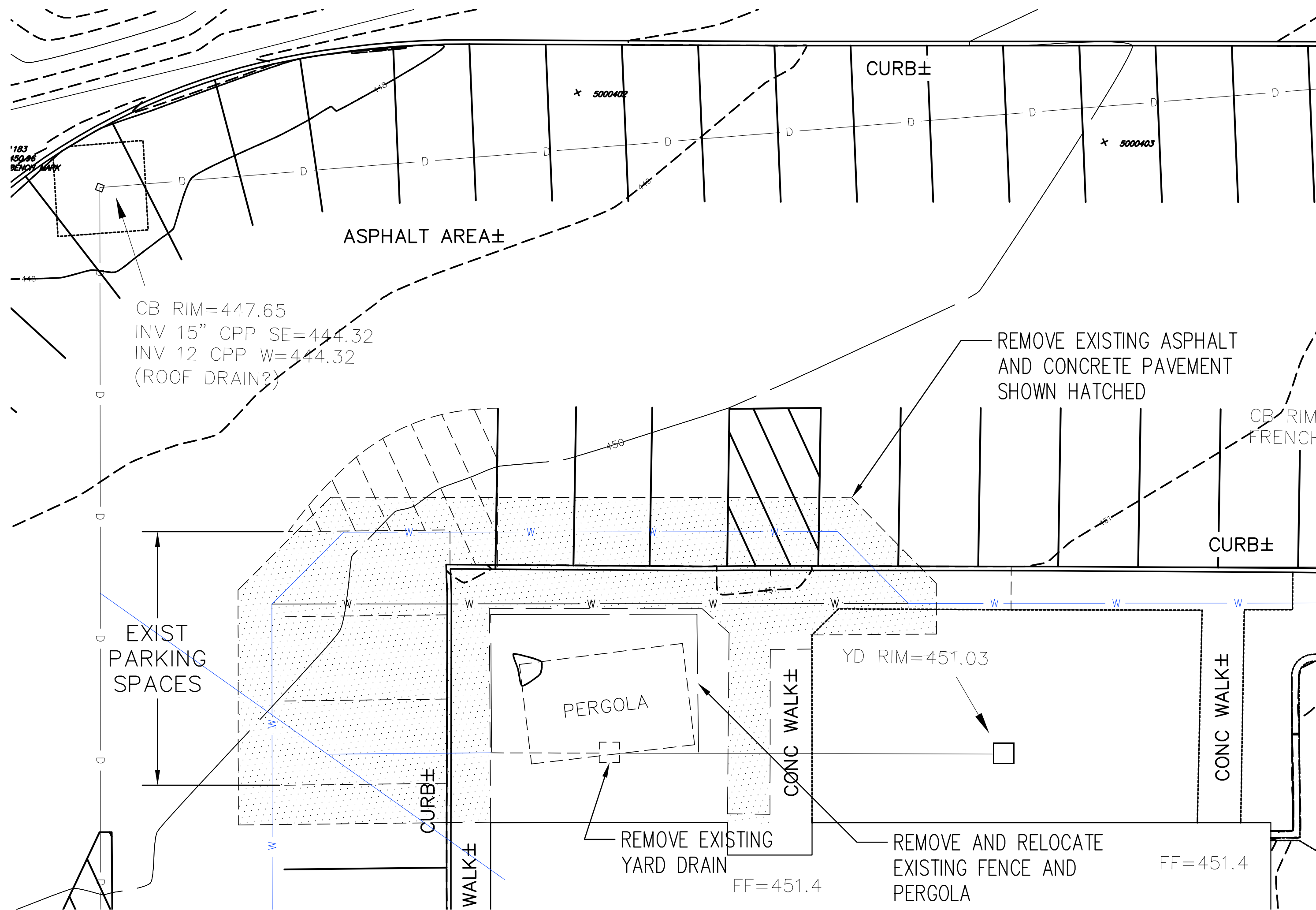
Drawn by: MJP
Checked by: RJS
Date: 01-09-2026
Scale: AS NOTED

Revisions:
Number: _____ Date: _____ By: _____

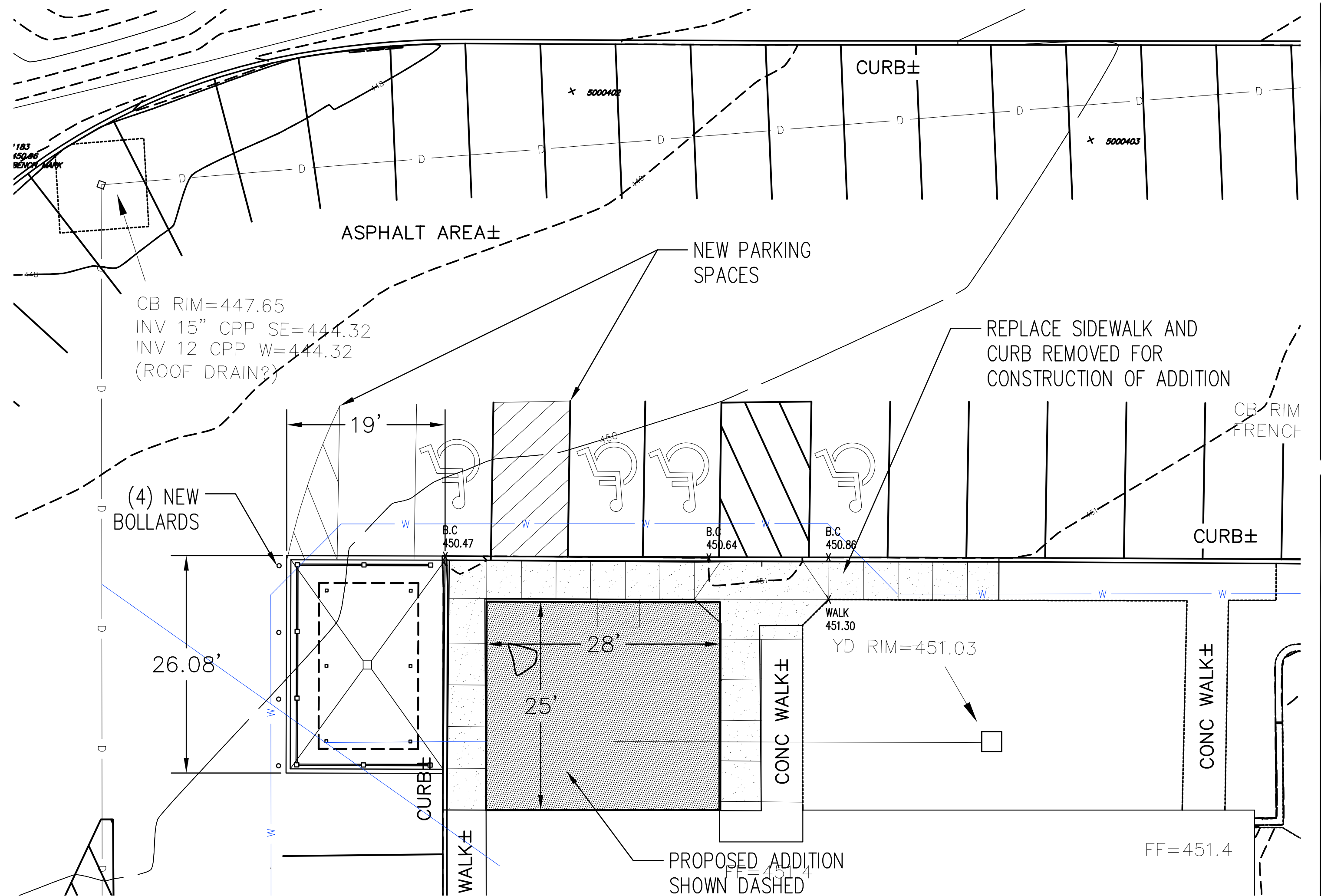
Sheet Title:
OVERALL
SITE PLAN

Sheet No:
L1.1

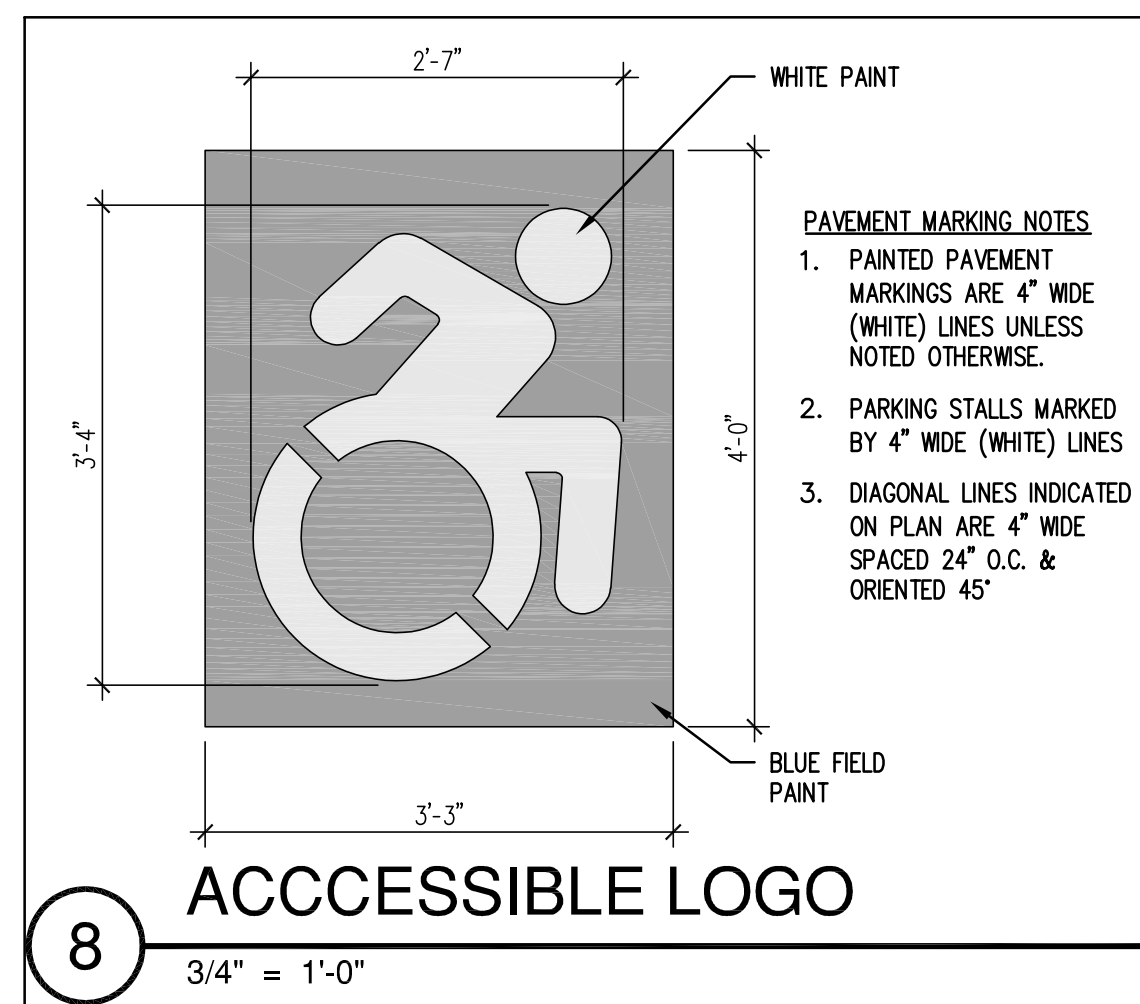
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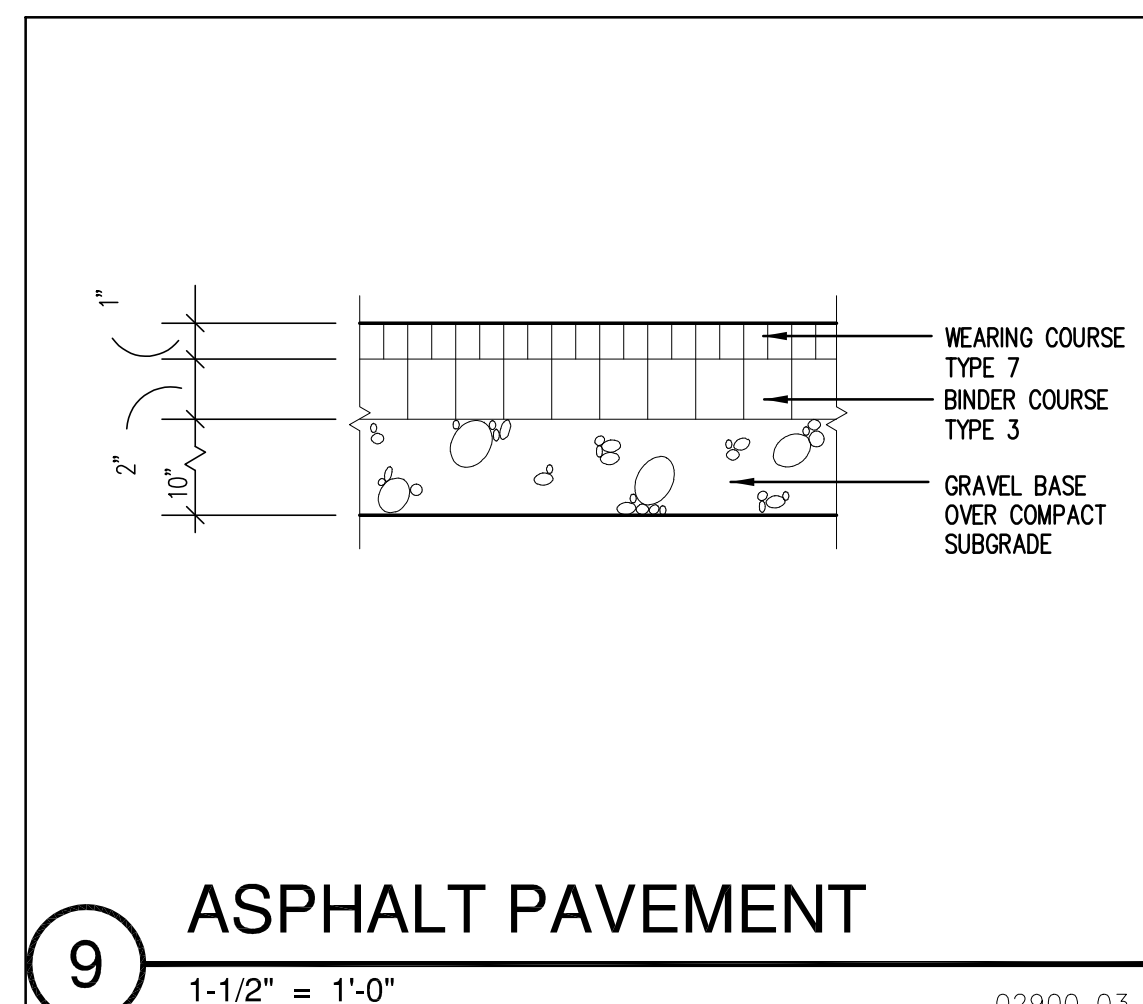
1 PARTIAL SITE PLAN - REMOVALS
SCALE: 1" = 10'-0"



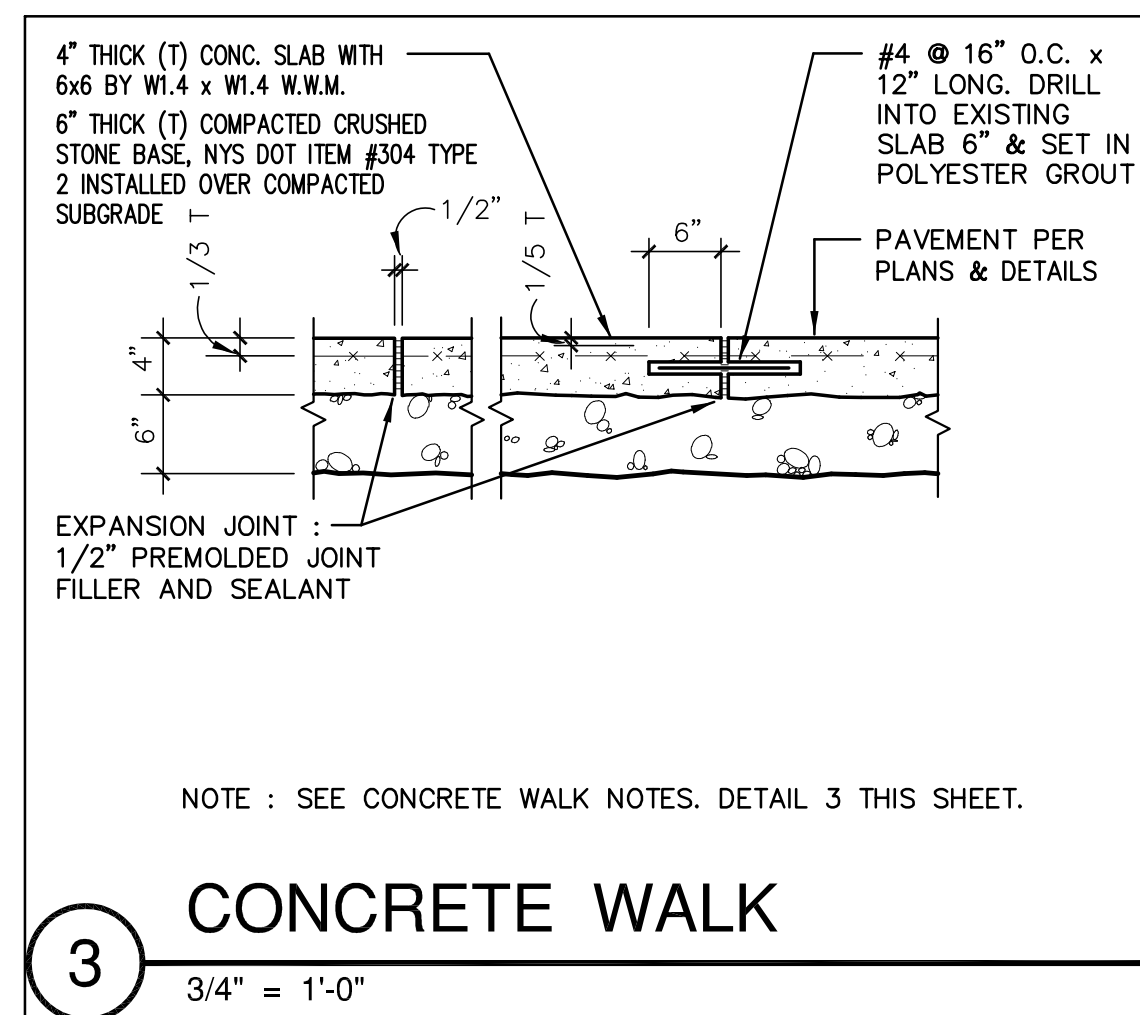
2 PARTIAL SITE PLAN - PROPOSED CONSTRUCTION
SCALE: 1" = 10'-0"



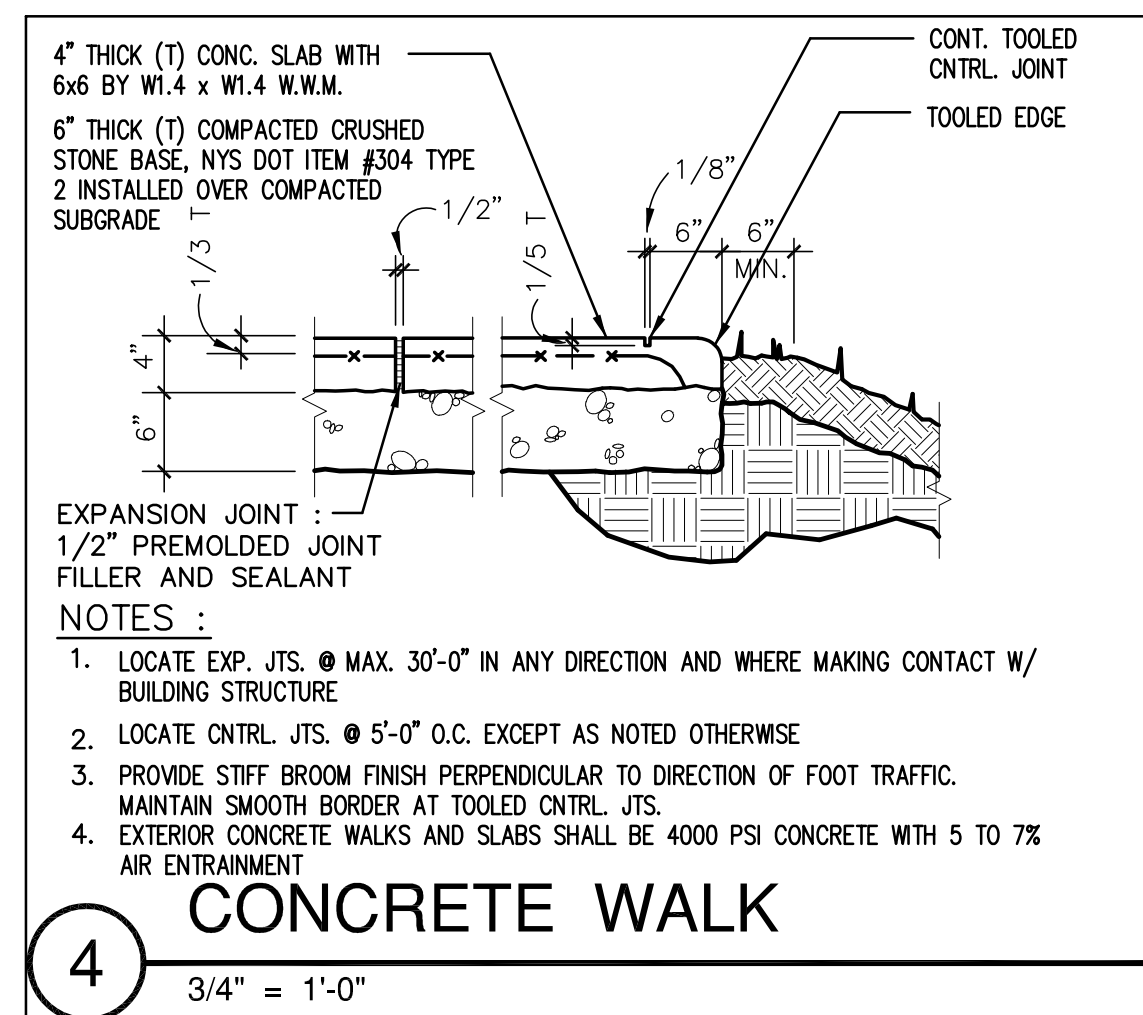
8 ACCESSIBLE LOGO
3/4" = 1'-0"



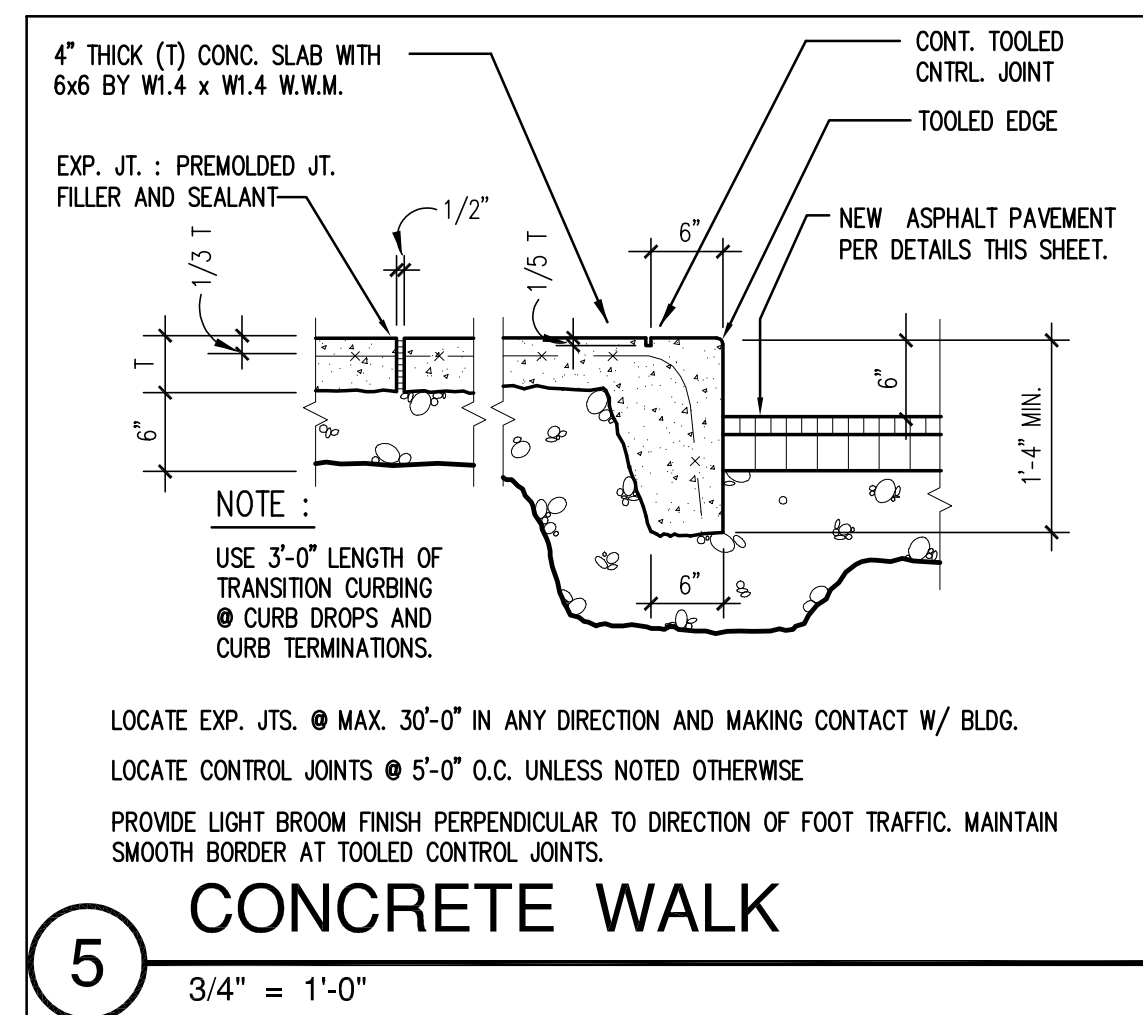
9 ASPHALT PAVEMENT
1-1/2" = 1'-0"



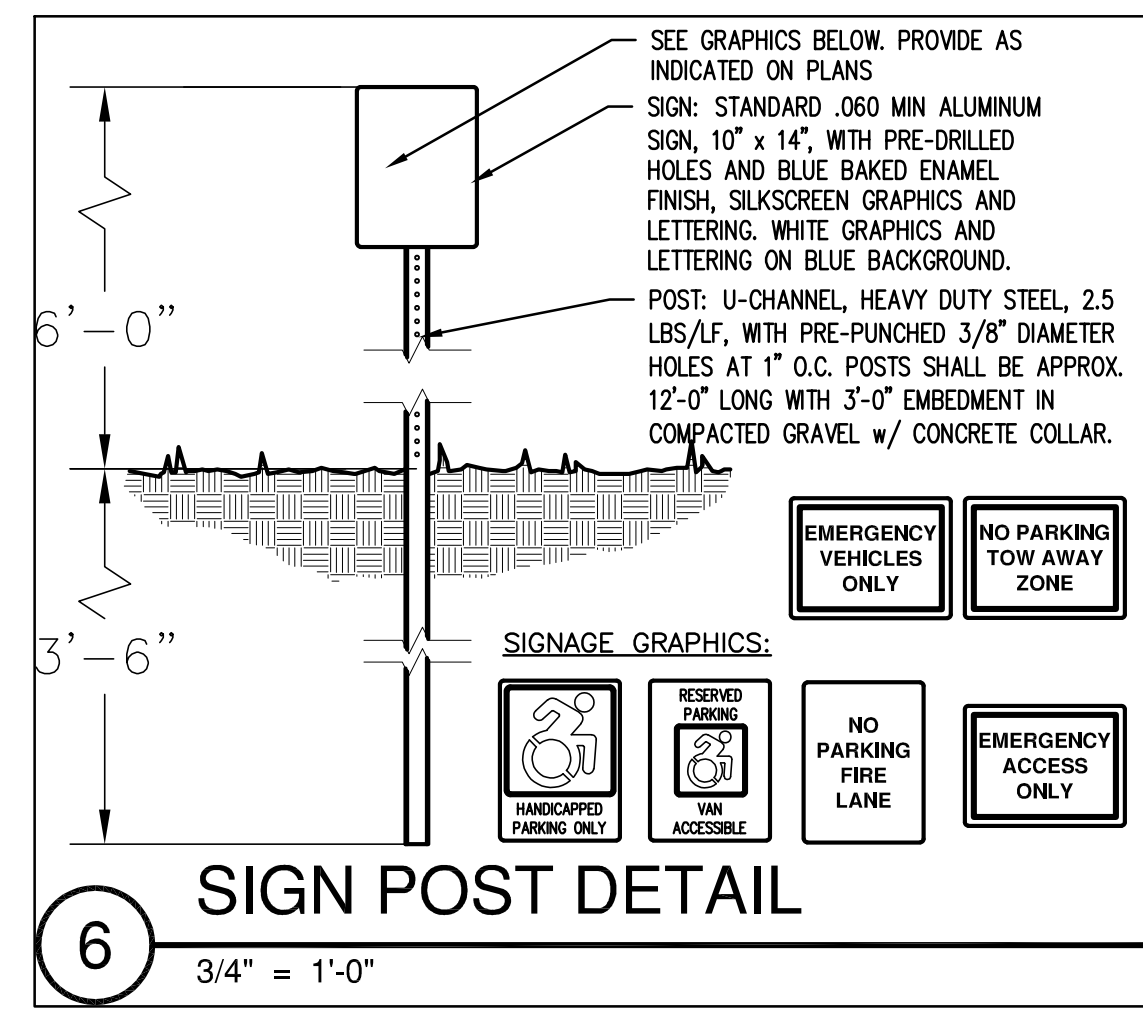
3 CONCRETE WALK
3/4" = 1'-0"



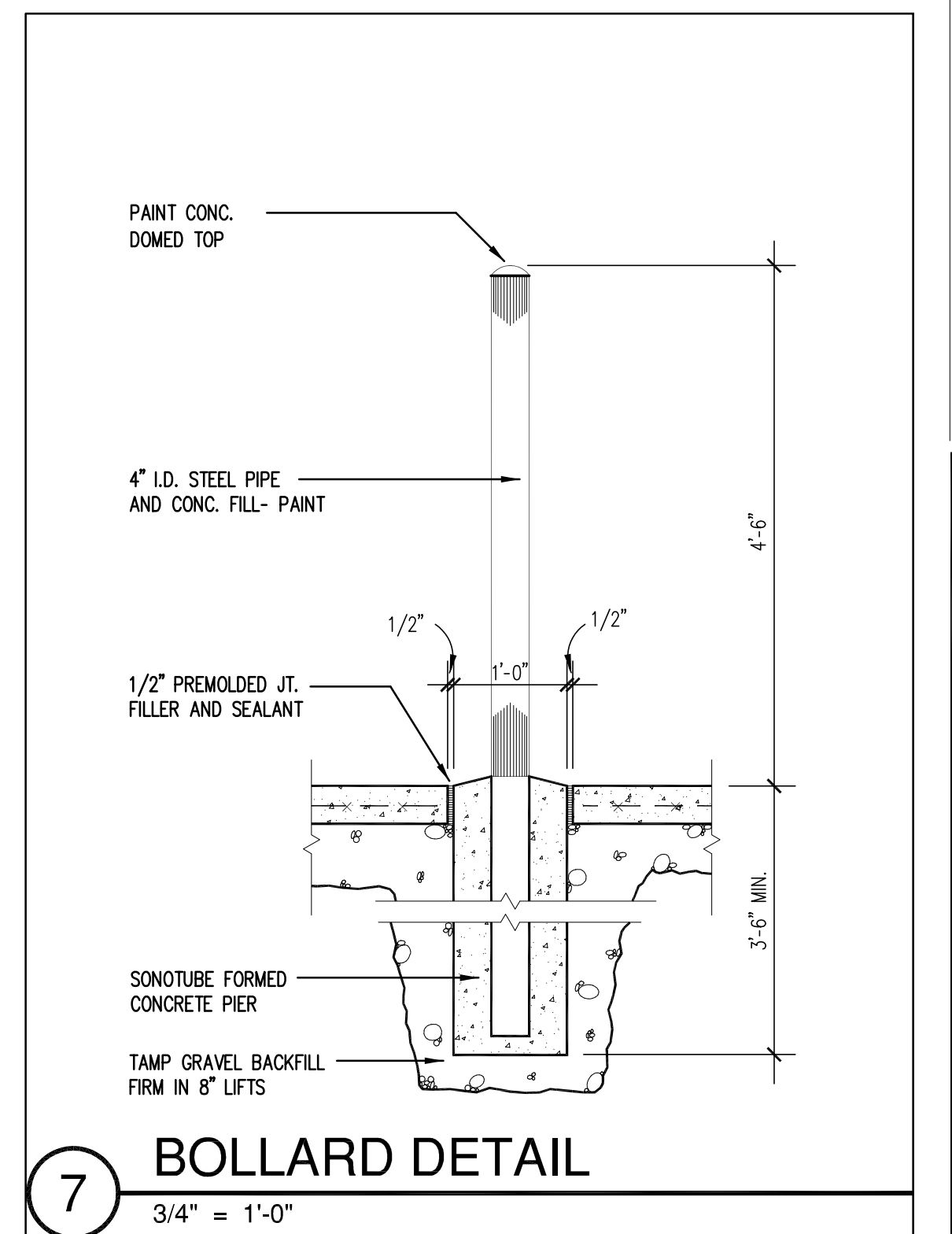
4 CONCRETE WALK
3/4" = 1'-0"



5 CONCRETE WALK
3/4" = 1'-0"



6 SIGN POST DETAIL
3/4" = 1'-0"



7 BOLLARD DETAIL
3/4" = 1'-0"

Z-26-21

LIVERPOOL FIRE DEPARTMENT
STATION # 1 - ADDITION
1110 OSWEGO STREET
LIVERPOOL, NEW YORK 13088

THE ARCHITECT SHALL BE DEEMED TO HAVE ACCEPTED THE RESPONSIBILITY FOR THE DESIGN AND SHALL RETAIN ALL COMMON LAW RIGHTS, INCLUDING THE COPYRIGHT. IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE AUTHORITY OF THE ARCHITECT, TO REPRODUCE OR ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

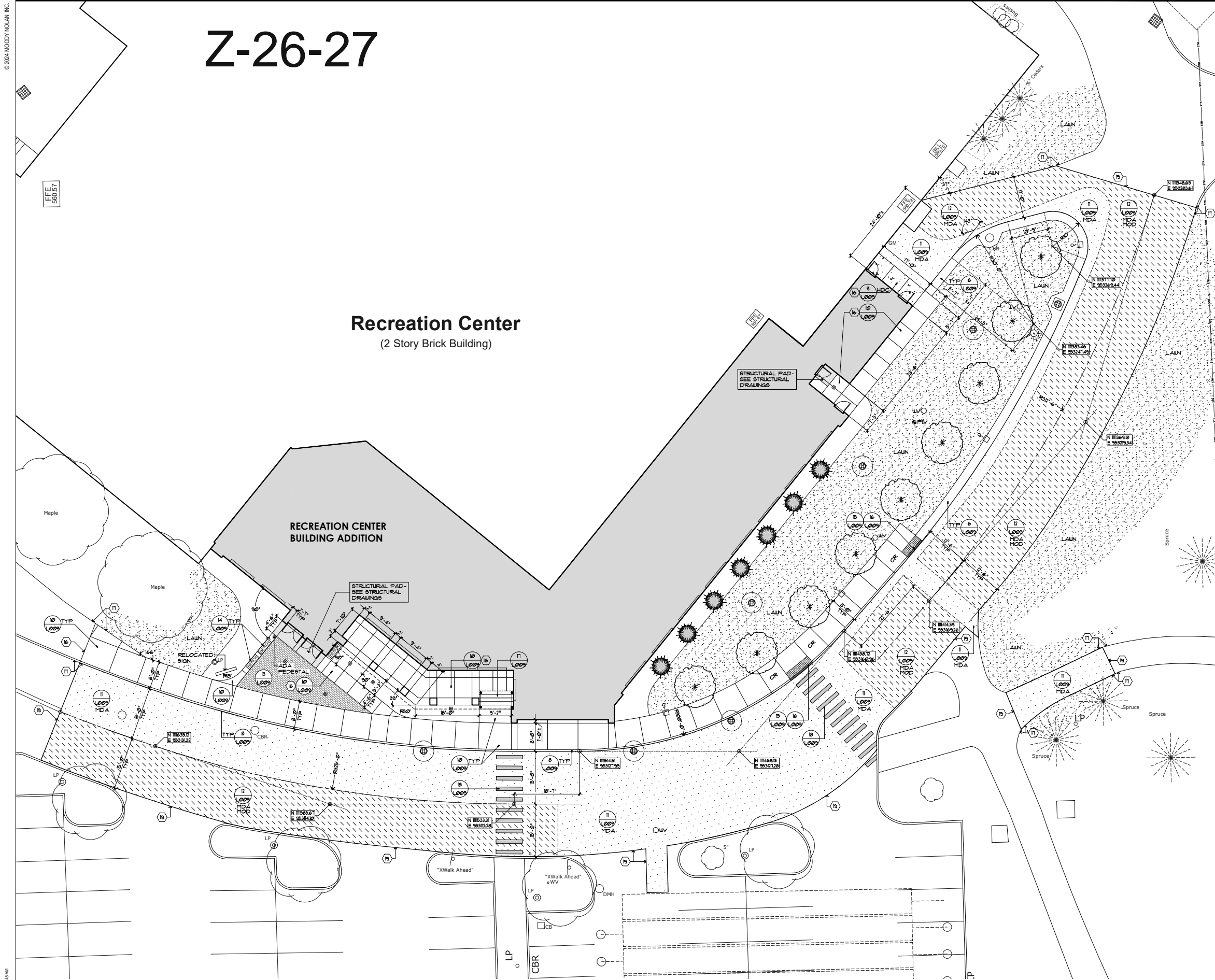


Schopfer Architects LLP
1111 JAMES ST.
SYRACUSE, NY 13203
315-474-6501
FAX 315-474-1922

Drawn by: MPP
Date: 01-09-2026
Revisions:
Number: Date: By:
Sheet Title: ENLARGED SITE PLANS AND DETAILS
Sheet No: L1.2
Job No: 2514-A

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Z-26-27



REVISION: 000
DATE: 12-18-2025
FILE INFO: 7:16 PM

REC CENTER ADDITION- SITE LAYOUT PLAN

#	DATE	CHANGE DESCRIPTION

**Le Moyne College Dwyer Center
for Recreation & Wellness
Addition**
CLIENT PROJECT #:
PJ200002



102 W DIVISION ST.
SUITE 100
SYRACUSE, NY 13204
PHONE: 315-476-1022



Moody Nolan

300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664

DRAWING TITLE:
SITE LAYOUT PLAN

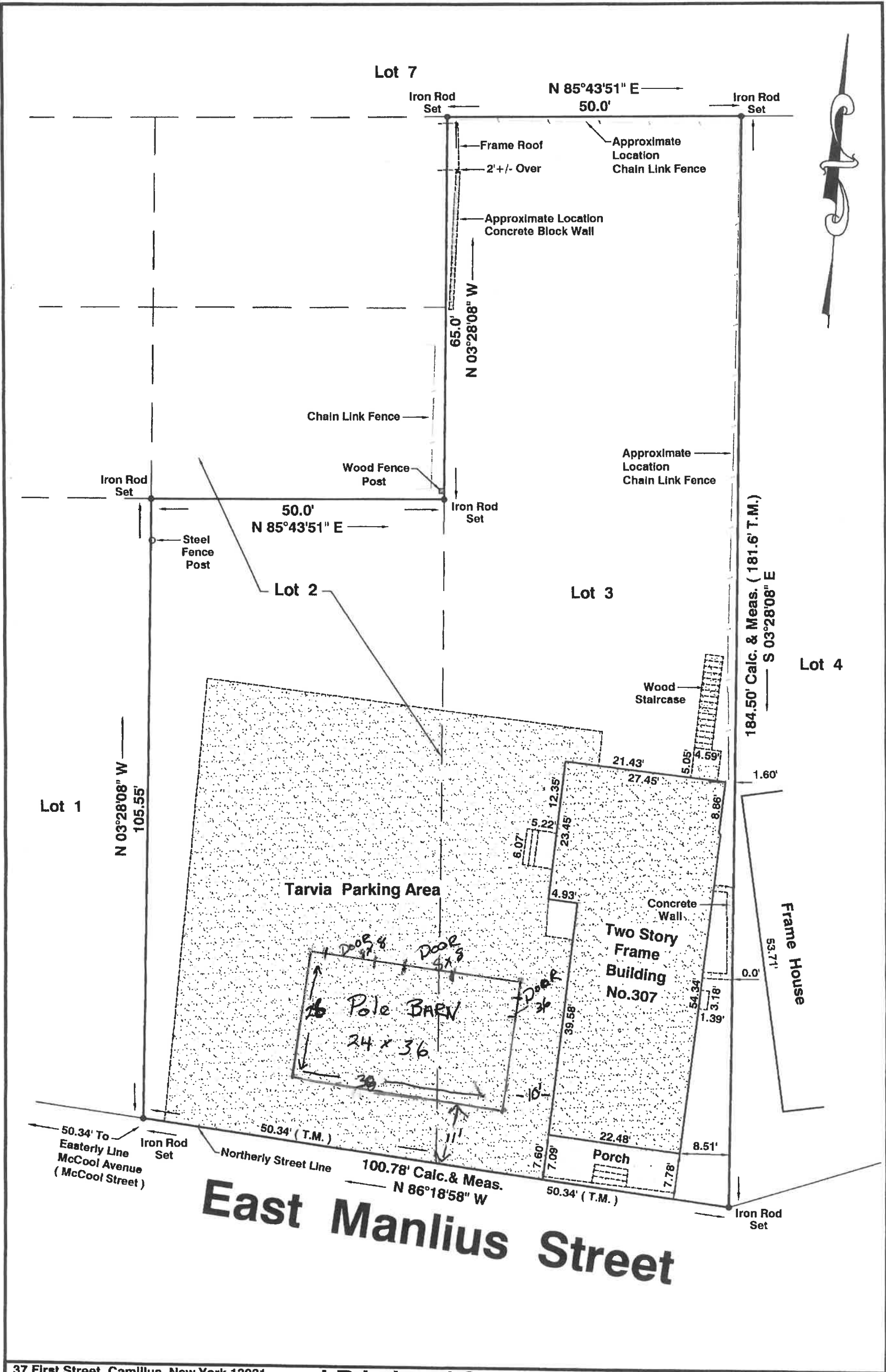


12-18-2025

25120.02

L007

PERMIT SET



37 First Street, Camillus, New York 13031
Email: jrlandsurveying@aol.com

J.R.L. Land Surveying PLLC

Phone: (315) 263-9621
Fax: (315) 320-4298

James Richard Lighton New York State Licensed Land Surveyor #50606



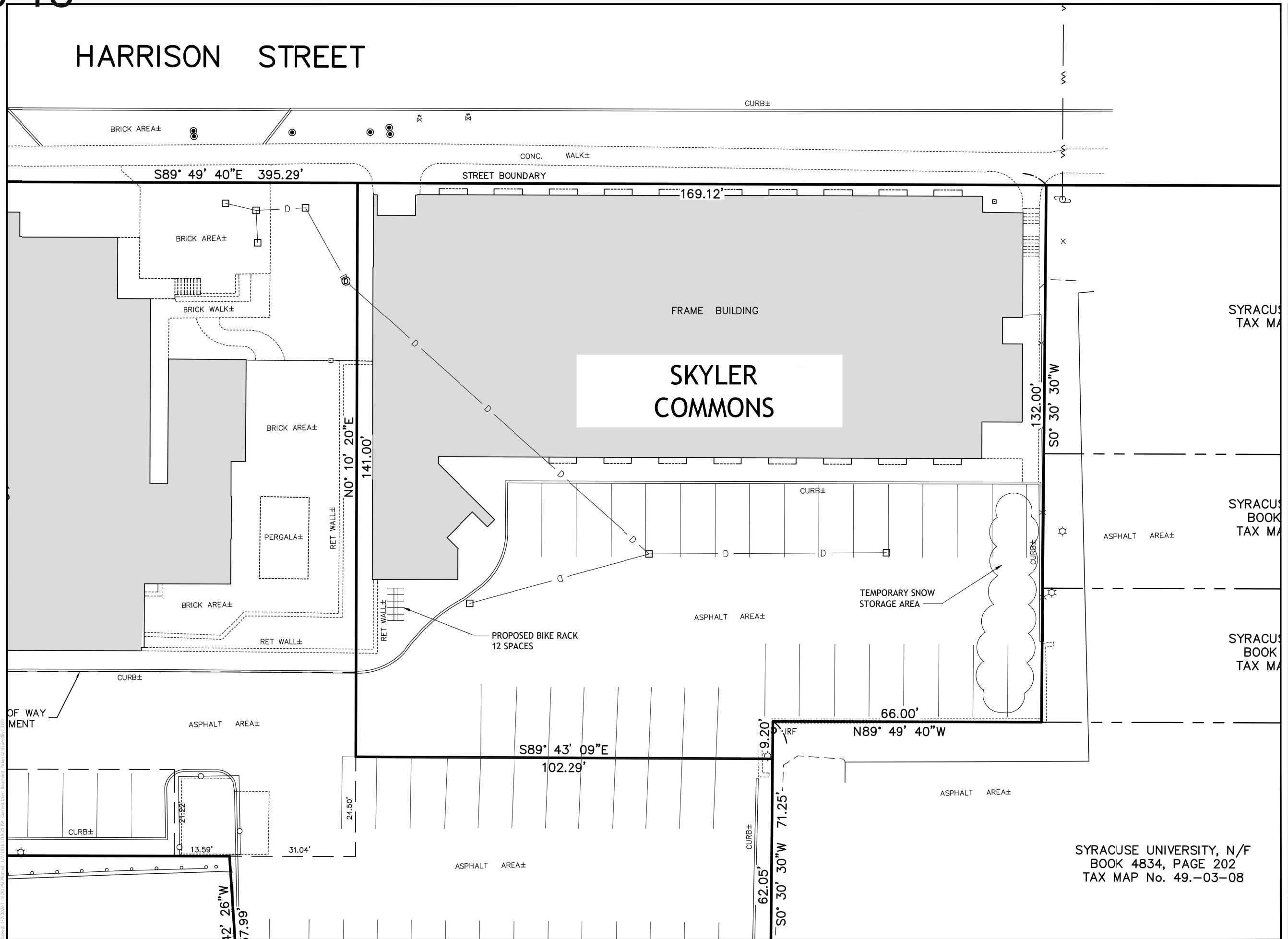
I hereby certify that this map was made from an actual survey and same is correct. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law. Only copies from the original of this survey marked with an original of the land surveyor's inked seal or his embossed seal shall be considered to be true valid copies. Certifications shall run only to the person or entities for whom the survey is prepared and are not transferable to subsequent persons or entities. Copyright 2021, JRL Land Surveying PLLC.

Location Survey on Lot No.3 and part of Lot No.2 - Block No.26
A. D. Ellis Tract, Amended, Filed April 3, 1886 - Map #437

Known as No.307 East Manlius Street, Village of East Syracuse,
County of Onondaga, State of New York.

Scale: 1"= 20' Date: 09-01-21 Drawn By: JRL
Revisions:

HARRISON STREET



SYRACUSE UNIVERSITY, N/F
BOOK 4834, PAGE 202
TAX MAP No. 49.-03-08



PROJECT NAME
PRESENTATION CONCEPTS CORP.
Alterations

PROJECT ADDRESS
**6006 Drott Drive
DeWitt, New York**

ARCHITECT OF RECORD
Rod VanDerWater, P.C.
7515 Morgan Road - Liverpool, NY

DRAWING ISSUE	
Issued:	Date:
CLIENT REVIEW	11/18/25
CLIENT REVIEW	11/19/25
CLIENT REVIEW	11/20/25
BID	12/04/25
PERMIT	12/11/25
SITE PLAN REVIEW	1/07/26

SHEET INFORMATION	
Project Date:	10/16/2025
Project No.:	25.033
Drawn By:	JO

PAGE TITLE
ARCHITECTURAL SITE PLAN

GENERAL SITE PLAN NOTES:

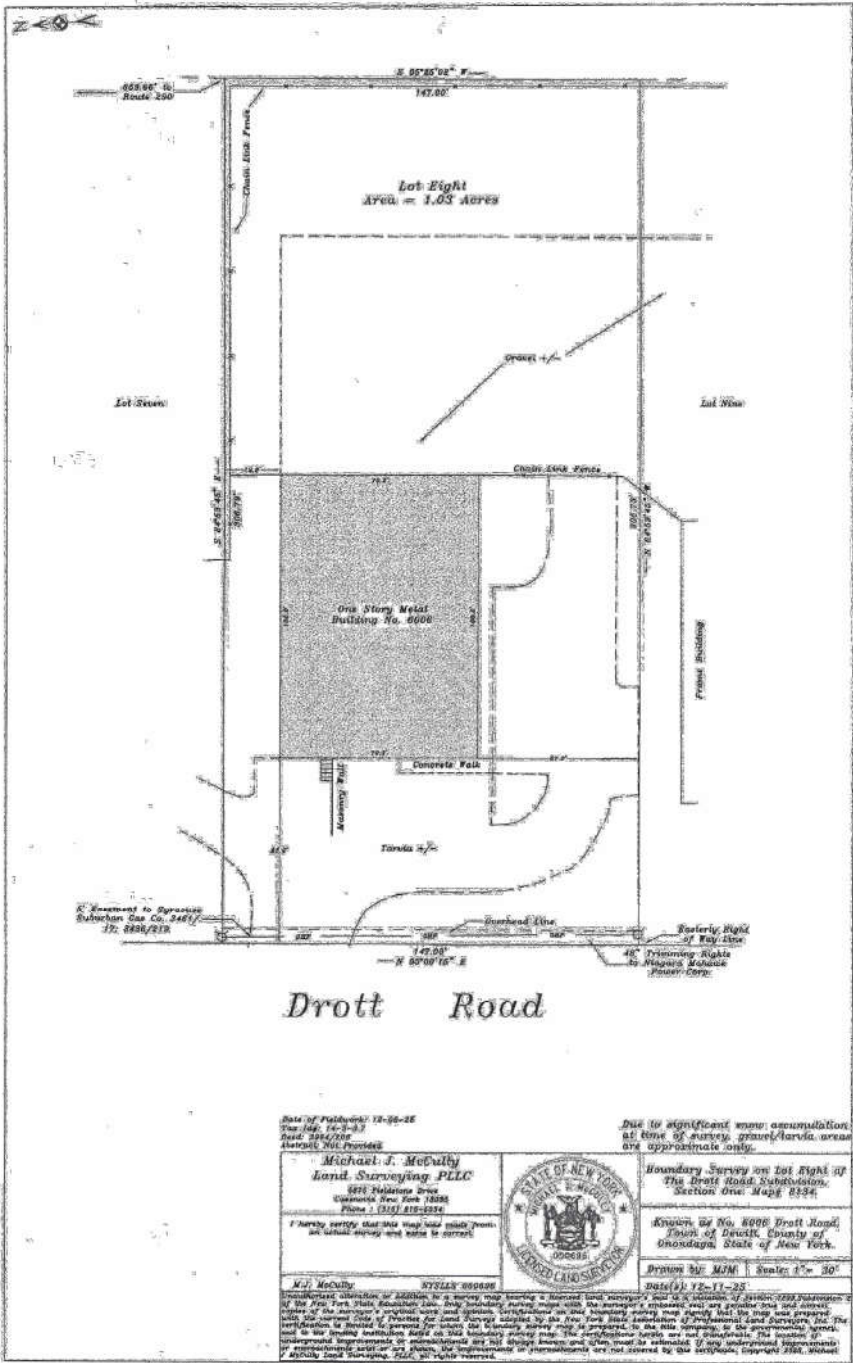
- 1) IMPROVEMENTS TO EXISTING SITE AS NOTED
- 2) NO SITE IMPROVEMENTS TO IMPACT EXISTING SITE DRAINAGE
- 3) EXISTING TARVIA WILL NOT BE EXTENDED
- 4) NO NEW BUILDINGS OR ADDITIONS TO EXISTING ARE PROPOSED
- 5) EXISTING EXTERIOR LIGHTING TO REMAIN
- 6) INSTALL ONE NEW CASEMENT WINDOW AT SOUTH SIDE OF BUILDING TO MATCH FIVE ADJACENT CASEMENT WINDOWS
- 7) REMOVE AND INFILL ONE OVERHEAD DOOR AT REAR OF BUILDING (NOT SEEN FROM STREET)
- 8) RE-STRIPE EXISTING PARKING SPACES AT WEST AND SOUTH SIDES OF BUILDING
- 9) STRIPE FOURTEEN NEW SPACES AT REAR OF BUILDING
- 10) NEW FENCE TO SEGREGATE CONTIGUOUS SHARED PAVED LOT AREA AT REAR SIDE OF PROPERTY
- 11) NEW FENCE TO MATCH EXISTING GALVANIZED CHAIN LINK FENCE
- 12) REMOVE APPROXIMATELY 350SF OF TARVIA AT EXISTING SHARED PARKING SPACES ALONG SOUTH PROPERTY BOUNDARY. INSTALL NEW TOP SOIL AND GRASS.
- 13) ALL PUBLIC AREAS ARE ACCESSIBLE

SITE INFORMATION:

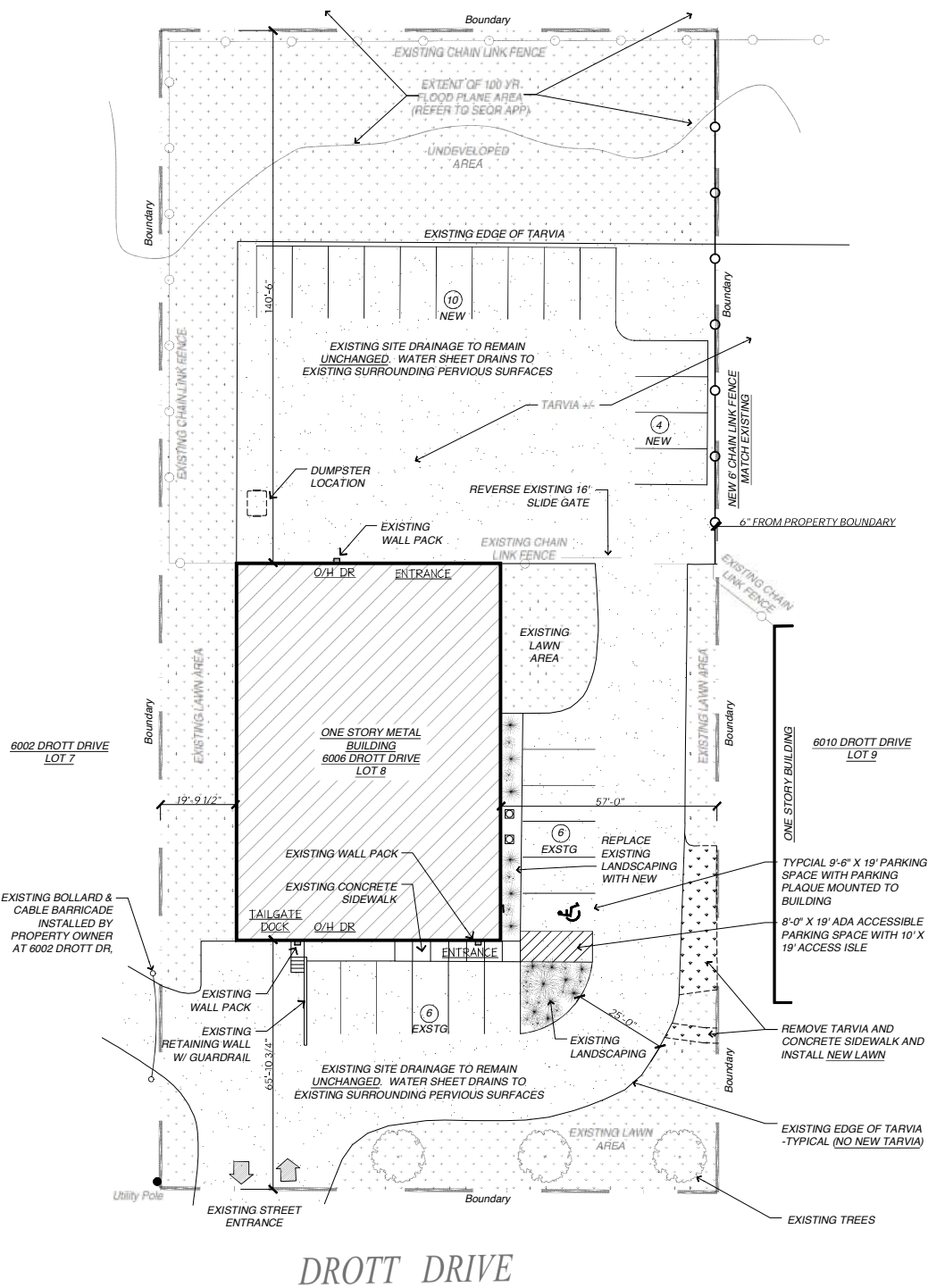
ADDRESS:	6006 DROTT DRIVE, TOWN OF DEWITT, COUNTY OF ONONDAGA, NEW YORK
TAX ID:	014-09-08.7
ZONED:	INDUSTRIAL (IND)
PERMITTED USE:	BUSINESS OFFICE
CURRENT USE:	BUSINESS OFFICE & SUPPORT WAREHOUSE
PROPOSED USE:	BUSINESS OFFICE & SUPPORT WAREHOUSE
AREA:	1.03 ACRE (UNLIMITED ALLOWED)
MIN. LOT WIDTH:	N/A
MIN. LOT AREA:	N/A
MAX BLDG COV.:	50% OF LOT AREA
	ACTUAL: 15.5%
	BLDG: 7,000SF / LOT: 45,020SF
MAX LOT COVERAGE: 80%	ACTUAL: 62%
	LOT: 27,975SF / 45,020SF LOT
SETBACKS:	FRONT MINIMUM ALLOWED: 50'
	ACTUAL: 65.3'
	SIDE MINIMUM ALLOWED TOTAL: 32' (MIN. 12')
	ACTUAL: 19.8' & 57'
	REAR MINIMUM: 40'
	ACTUAL: 140.5'
WETLANDS:	PARTIALLY LOCATED IN 100 YEAR FLOOD PLANE
	SEE SITE PLAN & MAP IN SEOR PACKAGE
	NOT LOCATED IN DEC OR FEDERAL WETLANDS

PARKING REQUIREMENTS

ON-SITE PARKING REQUIRED:	(23) SPACES
ON-SITE PARKING PROVIDED:	(26) SPACES
TOWN ZONING: ARTICLE XVII, 192-103. OFF-STREET PARKING REQUIRED:	
	BUSINESS: OFFICE SPACE = 3,338sf / 150sf = 22 SPACES
	WAREHOUSE: WAREHOUSE EMPLOYEES = 1 = 01 SPACE PER



1 PROPERTY SURVEY
A0.2 1" = 30'-0"



1 ARCHITECTURAL SITE PLAN
A0.2 1" = 20'-0"



GRADING and UTILITY GENERAL NOTES

1. ANY/FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBGRADE COARSE MATERIALS.
2. WHEREVER EXISTING STORM STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT AND PLUG CONNECTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
3. ALL CONCRETE PAVING AT ALL EXISTING AND NEW DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE DOUELED TO FOUNDATION WALL PER DETAILS.
4. ALL EXISTING FEATURES ARE TO REMAIN UNLESS OTHERWISE NOTED. IF THE CONTRACTOR DAMAGES ANY OF THE EXISTING ON-SITE FACILITIES TO REMAIN (TREES, PAVEMENTS, UNDERGROUND UTILITIES, STRUCTURES, ETC.) WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH ITEMS AT HIS OWN EXPENSE AND ASSUME ALL RESPONSIBILITY FOR SUCH DAMAGE WITHOUT ANY ADDITIONAL COST TO THE OWNER. REPLACEMENT MATERIAL SHALL BE SAME QUALITY AND QUANTITY AS ORIGINAL.
5. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND THE CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
6. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM KEPLINGER FREEMAN ASSOCIATES (KFA) AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. KFA AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

SIGN SCHEDULE

KEY	SIGN PLATE	SIGN SIZE MOUNTING HT.	NYSDOT MULT.C.D. NO. / COMMENTS
A	RESERVED PARKING W/ ACCESSIBLE SYMBOL	12" x 18" 7'-0" HT.	SIGN NO. P4-6 COLORS: WHITE BACKGROUND, BLUE ICON, GREEN TEXT/BORDER. REFER TO NOTE 2
B	NO PARKING ANY TIME	12" x 18" 7'-0" HT.	SIGN NO. - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER REFER TO NOTE 2

SITE PLAN NOTES

1. MEET EXISTING LINE AND GRADE OF ADJOINING SURFACE.
2. INSTALL ASPHALT PAVEMENT - PARKING PER DETAIL 1/L3.1.
3. SEALCOAT EXISTING ASPHALT PER MANUFACTURER'S SPECIFICATIONS.
4. 4" WIDE PAINTED LINE - WHITE (TYP.)
5. 4" WIDE PAINTED WHITE LINE @ 45° ANGLE 2' O.C.
6. WORK IN THESE AREAS RELATED TO INSTALLATION OF TRAFFIC SIGNAL TO BE DONE BY OTHERS. REFER TO PLANS FOR 5781 CELL DRIVE DEVELOPMENT HIGHWAY IMPROVEMENTS, TOWN OF DEWITT, ONONDAGA COUNTY, NY PREPARED BY C&S COMPANIES, PROJECT NO. 1084001000 DATED AUGUST 2023 FOR ADDITIONAL INFORMATION.
7. INSTALL RESERVED PARKING PER DETAIL 9/L3.1.
8. INSTALL CONCRETE WALK PAVEMENT PER DETAIL 2/L3.1.
9. INSTALL INTEGRAL CURB AND CONCRETE WALK PER DETAIL 6/L3.1.
10. INSTALL CONCRETE CURB PER DETAIL 5/L3.1.
11. INSTALL ACCESSIBLE RAMP - TYPE 2 PER DETAIL 8/L3.1.

PARKING TABLE

	EXISTING	PROPOSED
5781 BRIDGE STREET PARKING SPACES	120	104
5795 BRIDGE STREET PARKING SPACES	22	33
TOTAL PARKING SPACES	142	137

KEPLINGER FREEMAN ASSOCIATES
LANDSCAPE ARCHITECTURE & LAND PLANNING
6300 RLY ROAD, SUITE 100, EAST SYRACUSE, NEW YORK 13207
PHONE: (315) 445-7980 FAX: (315) 445-7981
RZ Engineering, PLLC
6300 RLY ROAD SUITE 100
EAST SYRACUSE, NY 13207
PH: 315.431.0289 FAX: 315.445.7981



Client:
CHIMNEY PLAZA
5781 BRIDGE STREET
EAST SYRACUSE, NY

CHIMNEY PLAZA
PARKING RENOVATIONS
5781 and 5795 Bridge Street
EAST SYRACUSE, New York

REVISIONS
1. 11/25/2025 - P.B. SUBMISSION.
2. 1/14/2026 - STRIPING REVISIONS

Drawn By: JFR
Checked By: EBG
KFA Proj. No.: 43070
Date: SEPTEMBER 15, 2023
Scale: AS SHOWN

SITE PLAN

L2.1