



Onondaga County Planning Board

J. Ryan McMahon, II
COUNTY EXECUTIVE

MEETING AGENDA

Wednesday, January 28, 2026

11:00 AM

- I. Call To Order
- II. Approval of minutes from previous meeting date of: 01/07/2026
- III. Other Business
- IV. Actions on GML Section 239 Referrals to the County Planning Board
- V. Administrative & Informal Reviews
- VI. Adjourn

INDEX

PAGE	CASE #	Applicant	Type of Action	Municipality
1	Z-26-10	The Summit Federal Credit Union	SPECIAL PERMIT	Town of Clay
6	Z-26-11	Wetzel Road Storage Project	SPECIAL PERMIT	Town of Clay
10	Z-26-12	Long Branch Storage Project	SPECIAL PERMIT	Town of Clay
14	Z-26-15	Wetzel BESS A&B	SITE PLAN	Town of Clay
18	Z-26-16	Wetzel BESS A&B	SPECIAL PERMIT	Town of Clay
22	Z-26-25	Matthew Peirson	SITE PLAN	Town of Van Buren
26	Z-26-26	Matthew Peirson	SPECIAL PERMIT	Town of Van Buren
30	Z-26-9	The Summit Federal Credit Union	ZONE CHANGE	Town of Clay
35	S-26-1	The Summit Federal Credit Union	SUBDIVISION	Town of Clay
40	Z-26-14	Roland & LuAnn Burke	ZONE CHANGE	Town of Cicero
44	Z-26-22	Robert Loring	SITE PLAN	Village of Liverpool
49	Z-26-23	Robert Loring	SPECIAL PERMIT	Village of Liverpool
54	Z-26-20	Commerce Boulevard Stor-Haus, Ltd.	SITE PLAN	Town of Salina
58	Z-26-21	Liverpool Fire Department / Mark Pearson	SITE PLAN	Village of Liverpool
62	Z-26-27	Fouad Dietz (LeMoyne College)	SITE PLAN	Town of DeWitt

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-10

Case Number: **Z-26-10**
Related Cases: Z-26-9 S-26-1
Referring Board: Town of Clay Town Board
Type of Action: SPECIAL PERMIT

Keyword: Summit Federal Credit Union
Applicant: The Summit Federal Credit Union
Location: at 4955 West Taft Road
Tax Map ID: 107.-14-26.1, 107.-14-27.1

RECOMMENDATION: **Modification**

JURISDICTION:

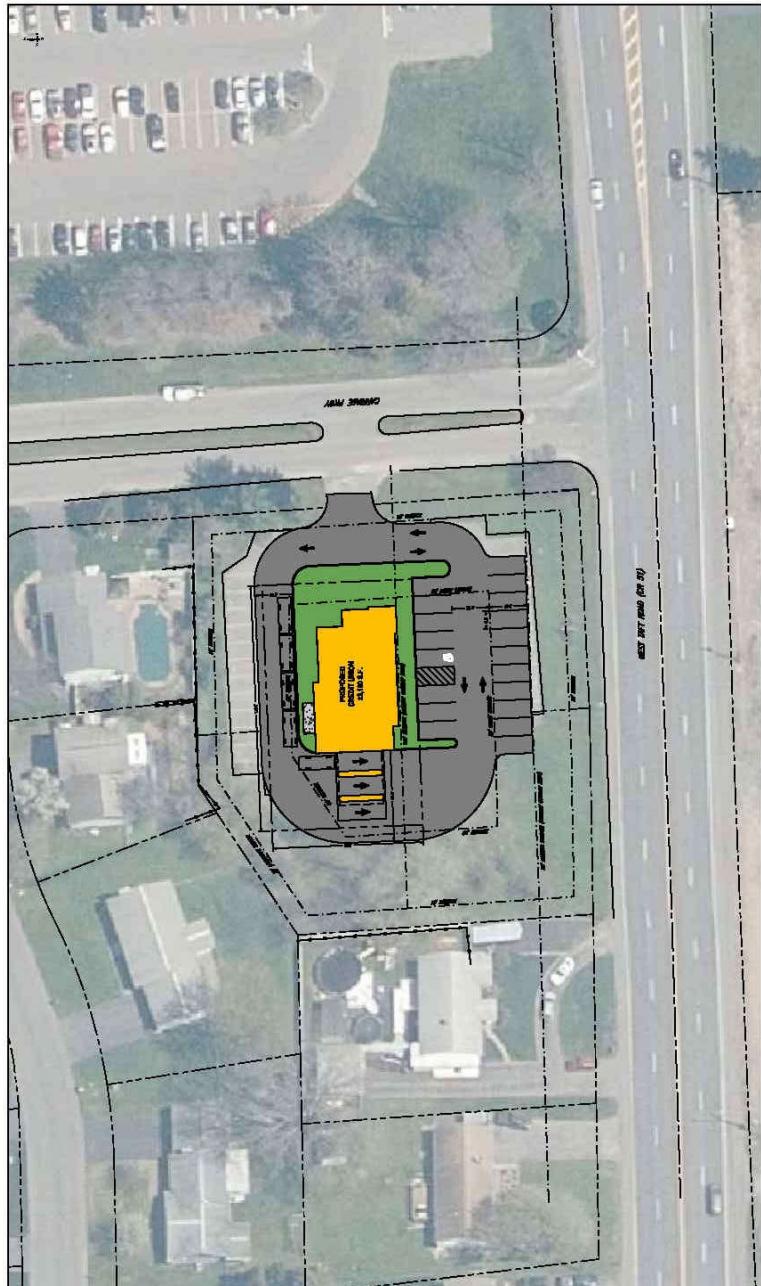
General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of West Taft Road (Route 51), a county highway

SUMMARY:

the applicant is requesting two special permits to allow the construction of a credit union (one for drive-thru service and one for credit union/bank use) on two parcels totaling 1.07 acres in a proposed Office (O-2) zoning district



Z-26-10



TAFT ROAD BRANCH CONCEPTUAL SITE PLAN
THE SUMMIT FEDERAL CREDIT UNION

STAFF REVIEW:

Past Board Reviews:	Site plan referral (Z-06-282) to construct a 2,439 sf office building on site. The Board held No Position.
Concurrent Reviews:	Zone change and subdivision referrals (Z-26-9 and S-26-1).
Nearby Uses/Setting:	The site is located along West Taft Road, County Route 51, with additional property along Carriage Parkway, a local road. The site is across Carriage Parkway from Wegmans and is part of the Merrill Farms subdivision. The Taft Road corridor this area is characterized by a mixture of commercial businesses along major roads surrounded by residential neighborhoods. Adjacent parcels contain residential uses.
Existing Site Layout:	The site is comprised of two parcels located on West Taft Road, a vacant western parcel and an eastern parcel currently containing an office building (to be demolished) with a driveway to Carriage Parkway.
Proposed Site Layout:	Per the Lot Nos. 1 & 2 Taft Road Professional Office Park Map dated 12/15/2015, the two parcels comprising the site will be combined into a new 1.02-acre lot.
Current Zoning:	Per the Town Zoning Map dated 12/2017, the site is in an O-1 (Neighborhood Office) zoning district. Residential parcels to the west and north (rear) of the site are zoned R-7.5 (One-Family Residential District), the adjacent Wegmans Plaza is zoned RC-1 (Regional Commercial), and the Pinecrest Apartment Complex to the rear of the plaza is zoned R-Apt (Apartment District).
Proposed Zoning:	The applicant requests a zone change from O-1 (Neighborhood Office District) to O-2 (Office) to allow the proposed credit union. Per Town Code, the O-2 district is intended "to preserve the existing residential quality along portions of major roads within the Town. It shall also respect the general character of the surrounding areas while permitting alternative and compatible office development on selected parcels that are not suitable for residential use. This district shall emphasize the sensitive design of any proposed office uses to ensure compatibility with the existing and planned residential development."
	Uses permitted within O-2 include office buildings and instructional facilities, schools, day-care centers, and libraries with special permit approval, and emergency vehicle stations, banks/credit unions, medical offices, and drive thru service with a special permit approved by the Town Board.
Other:	The applicant is requesting two special permits to allow the proposed credit union to operate in an O-2 zoning district and to allow drive-thru service.
Proposed Site Layout:	Per the Taft Road Branch Conceptual Site Plan (undated), the existing building will be demolished to allow construction of the proposed 3,100 sf credit union. The Conceptual Plan depicts the drive-thru queue along the rear of the building with a three-lane drive-thru with bypass lane along the western side of the building. A 19-space parking lot will be located between the building and the West Taft Road frontage.

ADVISORY NOTE: Per the Onondaga County Department of Water Enviro

Protection, any and all demolition of buildings requires a permit for sewer disconnects. The applicant must contact Plumbing Control to ensure appropriate permits are obtained.

Landscaping:	Per the Taft Road Branch – Concept 2 Plan (undated), it appears landscape screening will be located along the rear and side site boundaries, between thru and adjacent residential parcels. Plant or tree varieties are not specified.
Access:	Per the Taft Road Branch Conceptual Site Plan (undated), proposed access to the credit union will utilize the existing site access to Carriage Parkway, a local road. ADVISORY NOTE: Per the Onondaga County Department of Transportation, additional access to West Taft Road will be permitted.
Drinking Water:	A new connection to public drinking water is proposed for the new building. ADVISORY NOTE: OCWA's Engineering Department requires the applicant to contact them to determine water availability and service options, obtain hydro test information, evaluate backflow prevention requirements, and/or request the Authority conduct hydrant flow testing to assess fire flow availability.
Wastewater:	A new connection to public sewers is proposed for the new building and the site is located in the Oak Orchard Wastewater Treatment Plant and Davis Road Fire Station service areas. ADVISORY NOTE: The Onondaga County Department of Water Environment Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: http://ongov.net/wep/connector
Easements:	Per the Taft Road Professional Office Park Map, a 15'-wide sanitary sewer easement occurs at the rear of the western parcel, extending to the rear of the existing building. A 25' and 20'-wide Ingress & Egress Easement is located along the site's driveway to Carriage Parkway and extends through the front parking lot. ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection (WEP), no permanent structures are permitted within the County easement. Any other work within the County easement must be coordinated with WEP.
Bike/Ped/Transit:	The Syracuse Metropolitan Transportation Council (SMTTC) has created a Sustainable Streets Guide, which includes the identification of priority sidewalk zones where the installation of sidewalks would be most beneficial. This site is located within a priority zone. Per aerial imagery from May 2024, there are no sidewalks along Carriage Parkway or West Taft Road.
Bike/Ped/Transit:	Per the Central New York Regional Transportation Authority (CENTRO), West Taft Road has public transit service and bus stops are located on West Taft Road adjacent to the site.
Other:	The project is within 2,000 feet of a site (ID: 734051) in the NYS Department of Environmental Conservation's (DEC) Adirondack Park.

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-10

Environmental Conservation Environmental Site Remediation database (per EAF Mapper).

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-11

Case Number: **Z-26-11**

Related Cases:

Referring Board: Town of Clay Town Board

Type of Action: SPECIAL PERMIT

Keyword: Battery Energy Storage System (B)

Applicant: Wetzel Road Storage Project

Location: at 4664 Wetzel Road

Tax Map ID: 087.-01-12.0

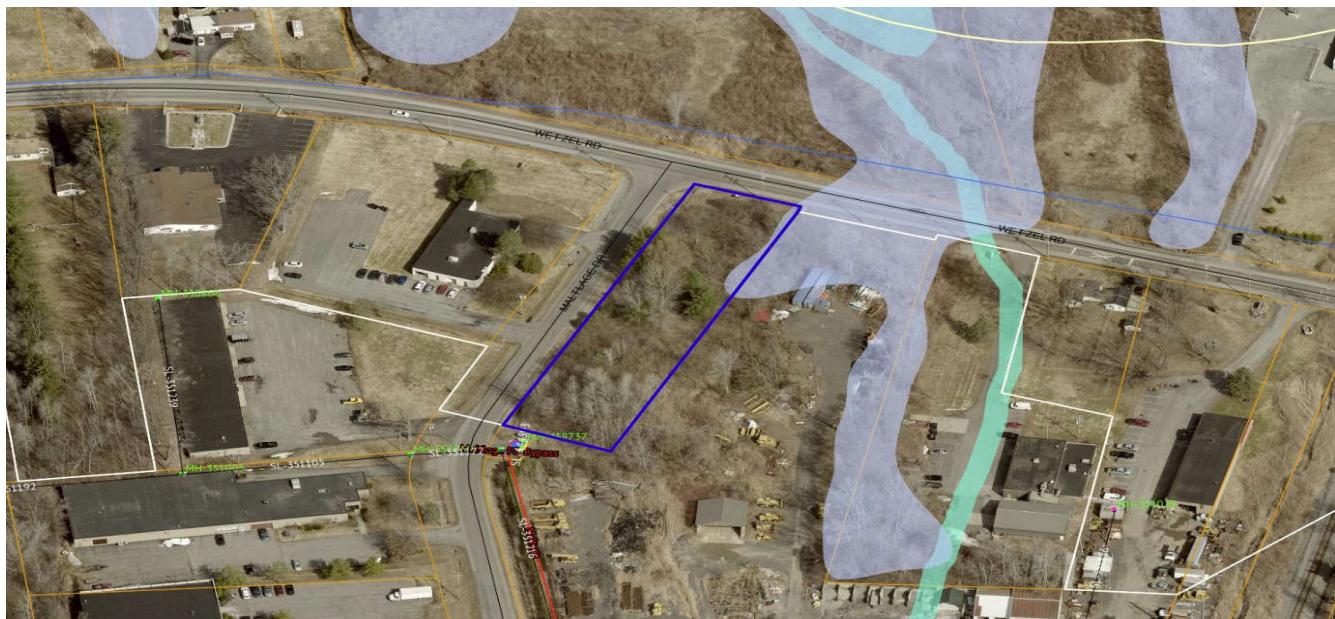
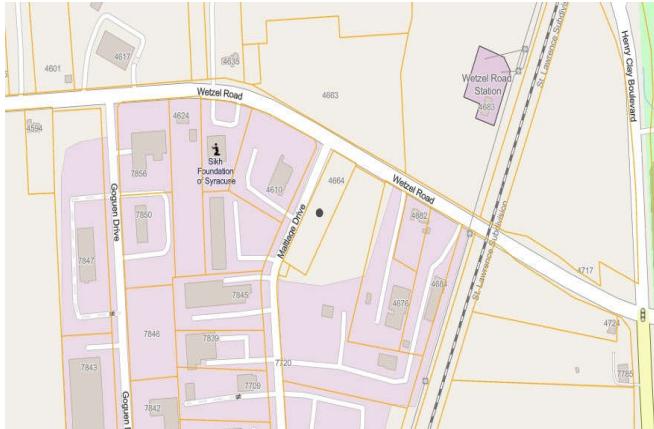
RECOMMENDATION: **Modification**

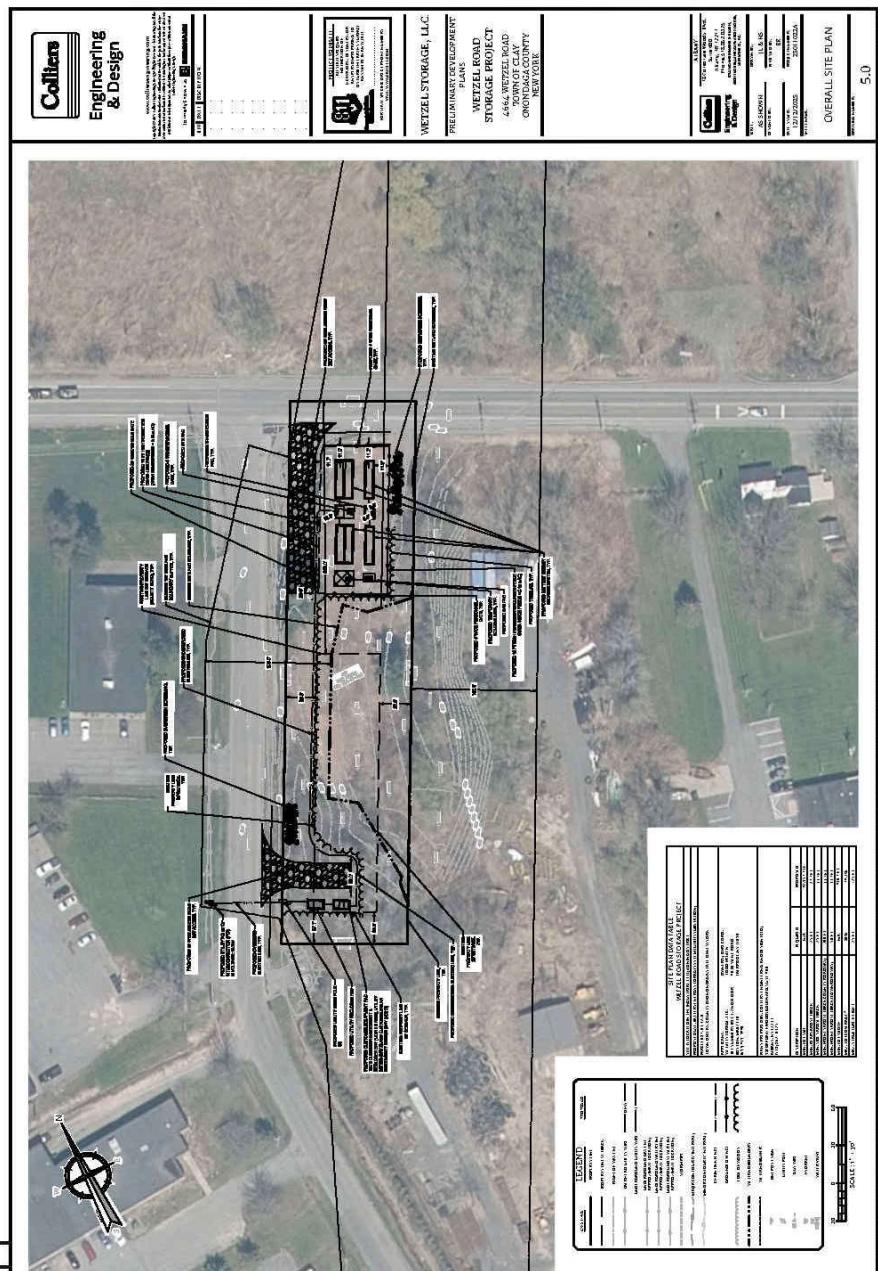
JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of Wetzel Road (Route 252), a county highway

SUMMARY:

the applicant is requesting a special permit to allow a 500kW battery energy storage system (BESS) on a portion of a 0.99-acre parcel in an Industrial (I-1) zoning district





Z-26-11

STAFF REVIEW:

Past Board Reviews:	The Board previously offered No Position with Comment on area variance and special permit referrals (Z-21-306, Z-21-307) to allow construction of a 60' x 100' building and establish a contractor's service yard on site, encouraging the applicant to contact the Onondaga County Department of Water Environment Protection (OCDWEP) to discuss sewer availability and capacity.
Concurrent Reviews:	The Board is currently reviewing site plan and special permit referrals for a Battery Energy Storage System (BESS) proposed to be located less than 500' from the current site (Z-26-15, Z-26-16).
Nearby Uses/Setting:	The site is located along Wetzel Road, a county road, located in Woodard Industrial Park. Surrounding land uses are a mix of industrial and commercial structures, a rail line, and vacant forested land. The closest residential parcel is located approximately 200' away.
Existing Site Layout:	The site is located at the southeast corner of Wetzel Road, a county road, and Maltlage Drive, a local road. Per aerial imagery from May 2024, the site appears to be vacant, containing trees and shrubbery.
Project Detail:	<p>The applicant is requesting a special permit to allow a BESS to be installed. Per the referral the applicant will install a BESS "utilizing Tesla Megapack batteries and an interconnection to the National Grid distribution system."</p> <p>Per the "Battery Energy Storage Memorandum", the applicant proposes a 5.5 MWh AC/23,051 kWh system composed of 6 Tesla Megapack 2XLs which are capable of discharging 5,000 kW daily for four hours."</p>
Proposed Site Layout:	Per the Overall Site Plan dated 12/12/25, the BESS will be installed near the Wetzel Road frontage along with a transformer pad and other equipment pads. Underground electrical lines will connect the BESS to the rear of the site where the proposed utility recloser pad and riser pole will be located. Overhead wires will connect the site to the "proposed utility point of interconnection" located across Maltlage Drive from the site.
Access:	<p>A 20'-wide driveway to Wetzel Road is proposed to access to the BESS and a 20'-wide driveway to Maltlage Drive will provide access to the utility connection equipment at the rear of the site.</p> <p>ADVISORY NOTE: Per the Onondaga County Department of Transportation, additional access to Wetzel Road will be permitted.</p>
Landscaping:	<p>Evergreen screening will be installed along the eastern parcel boundary, near the Wetzel Road frontage and along portions of the Maltlage Drive frontage, across the rear driveway.</p> <p>Existing tree cover will be retained along the southern and eastern boundaries of the site.</p>
Stormwater:	Per the Environmental Assessment Form (EAF) dated 12/17/25, 0.31 acres of the 0.99-acre site will be disturbed by the proposed project and the proposal will generate stormwater runoff.

Drinking Water: The referral notice says a new connection to public drinking water is proposed to serve the site. However it is unclear if this connection is necessary.

Wastewater: The referral notice says a new connection to the public sewers is proposed to the site which is located in the Wetzel Road Wastewater Treatment Plant's area. However it is unclear if this connection is necessary.

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as a priority for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper)

ADVISORY NOTE: NYS regulations require the applicant and/or municipality to contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality (SEQRA) process.

Other: The project is within 2,000 feet of a site (ID: 734051) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper).

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-12

Case Number: **Z-26-12**

Related Cases:

Referring Board: Town of Clay Town Board

Type of Action: **SPECIAL PERMIT**

Keyword: **Battery Energy Storage System (B**

Applicant: **Long Branch Storage Project**

Location: **at Long Branch Road (west of 7421 Oswego Road)**

Tax Map ID: **104.-02-09.1**

RECOMMENDATION: Modification

JURISDICTION:

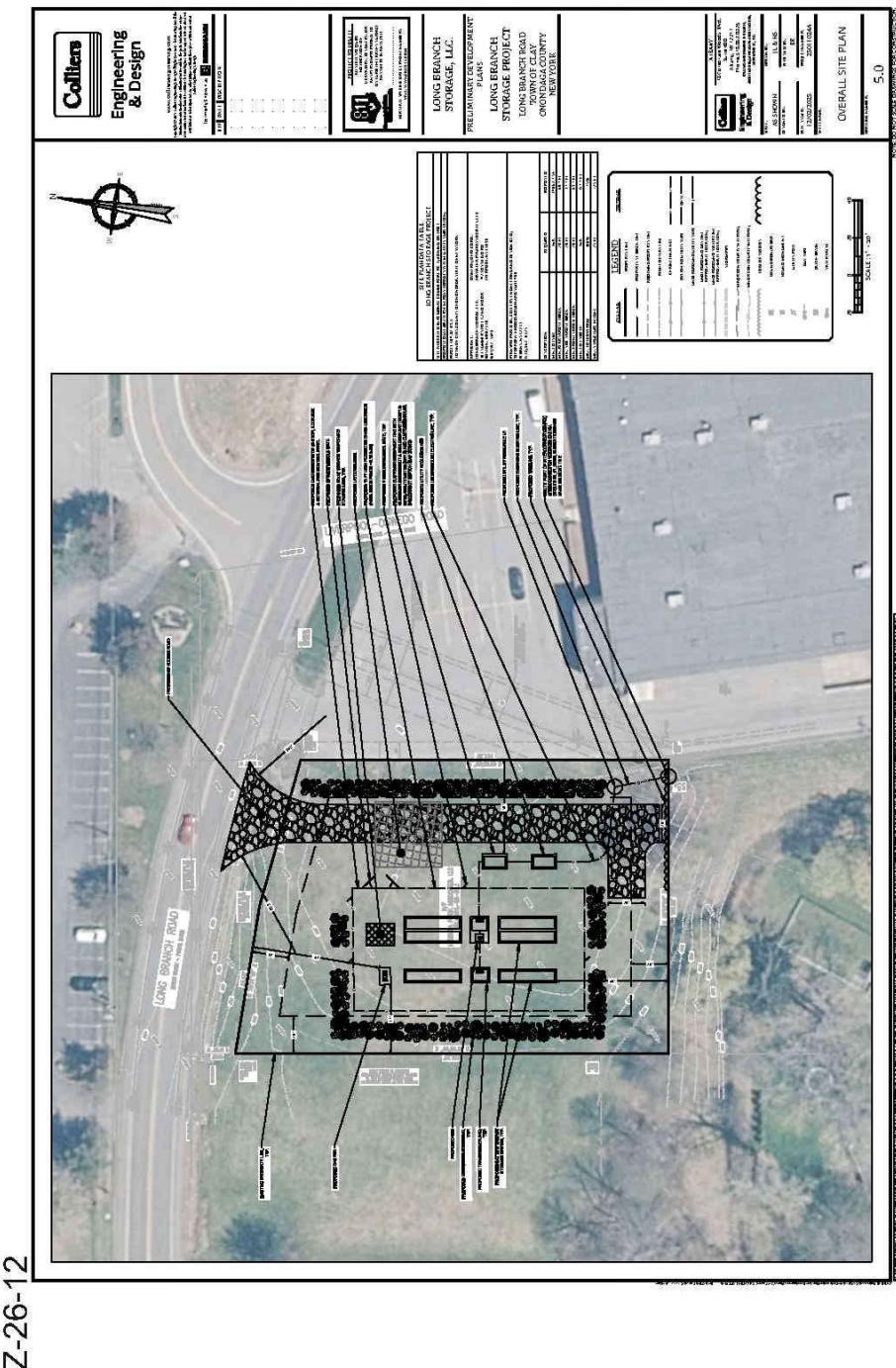
General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of Long Branch Road (Route 35) and John Glenn Boulevard (Route 81), both county highways, and the municipal boundary between the Town of Clay and the Town of Salina



SUMMARY:

the applicant is requesting a special permit to allow the construction of a 500kW battery energy storage system (BESS) on a portion of a 0.78-acre parcel in a Regional Commercial (RC-1) zoning district





STAFF REVIEW:

Nearby Uses/Setting:	The site is a vacant parcel along Long Branch Road, a county road. The site is adjacent to the Glenn Crossing Plaza to the east, a vacant parcel to the west, and residential uses to the rear.
Current Zoning:	The site and adjacent commercial plaza are in a Regional Commercial (RC) zoning district, abutting a vacant site zoned Office (O-2) to the west, and residential zoning districts to the west and south (rear).
Project Detail:	<p>The applicant is requesting a special permit to allow a BESS to be installed. Per the referral the applicant will install a BESS "utilizing Tesla Megapack batteries and an interconnection to the National Grid distribution system."</p> <p>Per the "Battery Energy Storage Memorandum", the applicant proposes a 5.4 AC/23,051 kWh system composed of 6 Tesla Megapack 2XLs which are capable of discharging 5,000 kW daily for four hours."</p>
Proposed Site Layout:	<p>Per the Overall Site Plan dated 12/2/25, the BESS will be located at the center of the site along with the transformer pad, DAS pad, and GTB, surrounded by a chain link fence.</p> <p>Underground wires will connect the equipment to the utility recloser pad adjacent to the access road and then connect to a utility pole at the rear corner of the site to the adjacent commercial plaza. The pole in the southeast corner of the site will be the "utility point of interconnection".</p>
Access:	<p>A 20'-wide driveway from Long Branch Road will extend along the eastern side boundary to a turnaround at the rear.</p> <p>ADVISORY NOTE: Per the Onondaga County Department of Transportation, existing or proposed driveways on Long Branch Road must meet Department requirements.</p>
Landscaping:	The Overall Site Plan depicts evergreen screening of the fenced in area on both sides and along the eastern side of the parcel between the access road and the adjacent commercial plaza.
Other:	Per the Long Branch Road BESS Project Visual Renders dated 12/18/25, the majority of the BESS will be mostly obscured by the evergreen screening.
Stormwater:	Per the Environmental Assessment Form (EAF) dated 12/17/25, 0.67 acres of the 0.78-acre site will be disturbed by the proposed project and the proposal will generate stormwater runoff.
Drinking Water:	The referral notice says a new connection to public drinking water is proposed to serve the site. However it is unclear if this connection is necessary.
Wastewater:	The referral notice says a new connection to the public sewers is proposed for the site which is located in the Wetzel Road Wastewater Treatment Plant and the Sawmill Pump Station service areas. However it is unclear if this connection is necessary.

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-12

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper)

ADVISORY NOTE: NYS regulations require the applicant and/or municipality to contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality (SEQR) process.

Other: The project is within 2,000 feet of a site (ID: 734051) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper)

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-15

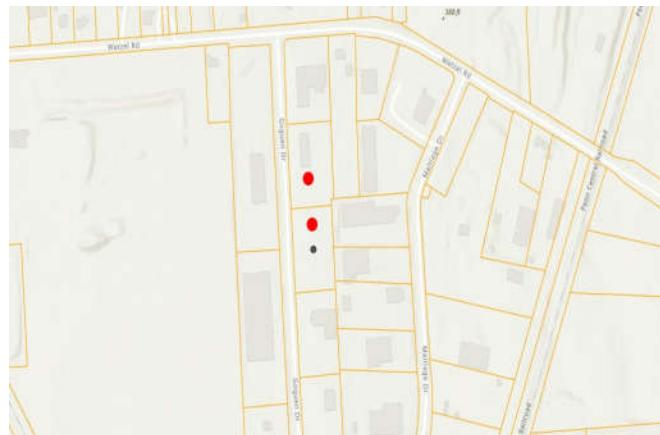
Case Number: **Z-26-15**
Related Cases: **Z-26-16**
Referring Board: **Town of Clay Planning Board**
Type of Action: **SITE PLAN**

Keyword: **Battery Energy Storage System (B**
Applicant: **Wetzel BESS A&B**
Location: **at 7846 & 7850 Goguen Road**
Tax Map ID: **087.-01-53.0, 087.-01-08.2**

RECOMMENDATION: **Modification**

JURISDICTION:

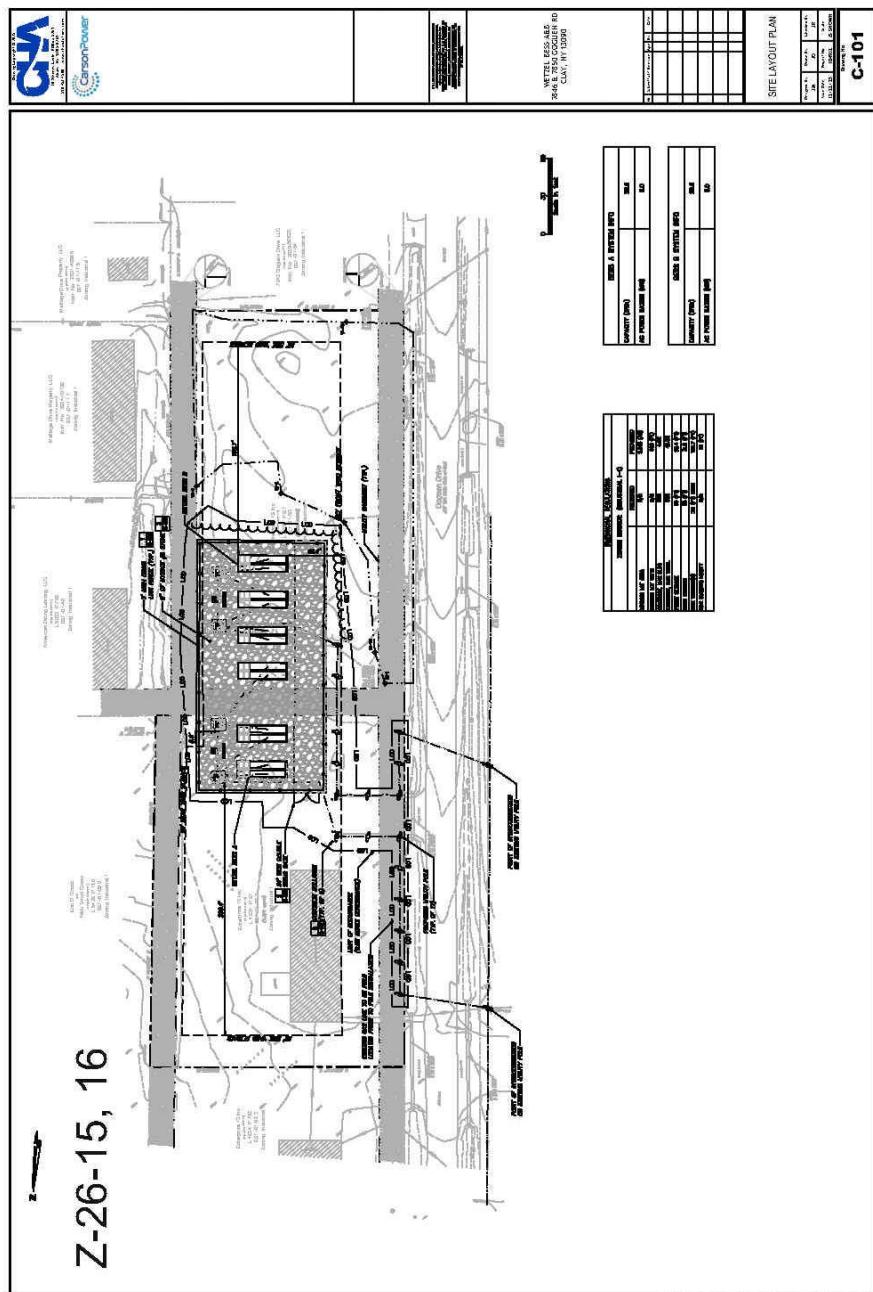
General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Wetzel Road (Route 252), a county highway



SUMMARY:

the applicant is proposing construction of (2) 5 MW Battery Energy Storage Systems (BESS) on two parcels totaling 2.65 acres in an Industrial (I-1) zoning district





STAFF REVIEW:

Concurrent Reviews:	Special permit referral (Z-26-16) for this proposed Battery Energy Storage System (BESS).
Nearby Uses/Setting:	The area is characterized by a mix of industrial and commercial land uses, Wetzel Road, a county highway, and between CSX rail lines. Nearby uses include a sign company, an exhibit design and fabrication company, and a construction/demolition company.
Existing Site Layout:	The site contains two parcels, both with frontage on Goguen Drive. The northern parcel contains an existing building, parking lot and driveway to Goguen Drive, and cross access to the parking lot and facility to the north. Per aerial imagery, the vacant southern parcel contains trees and shrubs.
Proposed Site Layout:	Per the Site Layout Plan dated 12/22/25, the BESS will be constructed at the rear of the site, across the parcel boundary. The six BESS units will be installed in a fenced-in gravel area along with the associated electrical equipment. Two sets of overhead electrical lines will connect the fenced-in area to utility poles along the Goguen Drive frontage and to two interconnection points on existing utility poles across Goguen Drive.
	Per the plans, the existing building and driveway to Goguen Drive will remain. The southern portion of the existing parking lot is to be removed to contain the BESS.
Project Detail:	Per the Project Narrative dated 1/2026, the applicant is proposing construction of "two 5 MW AC, 4-hour duration BESS", noting the final battery size "will be dependent upon National Grid study results."
	Per the Project Narrative, the BESS would cover 20,600 sf and would require utility poles to be installed to allow utility interconnection.
Access:	The existing driveway from Goguen Drive will remain. No new driveways are proposed.
Easements:	Per the Site Layout Plan, 20'-wide utility easements occur along the Goguen Drive frontage, along the boundary between parcels, and along the rear site boundary. The fenced in area will occur across the utility easement and utility poles are to be installed within the utility easement along Goguen Drive. Per the Site Layout Plan, the "existing gas line to be field located prior to pole installation."
Stormwater:	Per the Environmental Assessment Form (EAF) dated 12/29/25, 0.83 acres of the site will be disturbed by the proposed project. Stormwater mitigation is not addressed in the referral materials.
	ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), any project that cumulatively disturbs one acre or more of land must be covered by the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval.
Drinking Water:	A new connection to public drinking water is proposed to serve the site.

ADVISORY NOTE: OCWA's Engineering Department requires the applicant to contact them to determine water availability and service options, obtain hydrant test information, evaluate backflow prevention requirements, and/or request the Authority conduct hydrant flow testing to assess fire flow availability.

Wastewater: A new connection to the public sewers is proposed to serve the site which is located in the Wetzel Road Wastewater Treatment Plant and Sawmill Pump Station areas.

ADVISORY NOTE: The Onondaga County Department of Water Environment Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connector>

Wetlands: The Project Narrative notes the BESS and supporting equipment will be located "outside of the delineated wetland on the southern property" and that wetlands "received a negative Jurisdictional Determination from the NYSDEC", further noting both parcels received a "negative Jurisdictional Determinations".

GIS mapping depicts nearby state and federal wetlands, but does not show the site or on adjacent parcels.

Per the Existing Conditions map dated 12/22/25, the wetland was delineated. A letter of No Jurisdiction dated 10/14/25 from the NYSDEC had been received, but the date of the wetland delineation was not provided. Per the Site Layout Plan, BESS and associated development will occur outside of the wetland boundary.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-16

Case Number: **Z-26-16**
Related Cases: **Z-26-15**
Referring Board: **Town of Clay Town Board**
Type of Action: **SPECIAL PERMIT**

Keyword:
Applicant: **Wetzel BESS A&B**
Location: **at 7846 & 7850 Goguen Road**
Tax Map ID: **087.-01-53.0, 087.-01-08.2**

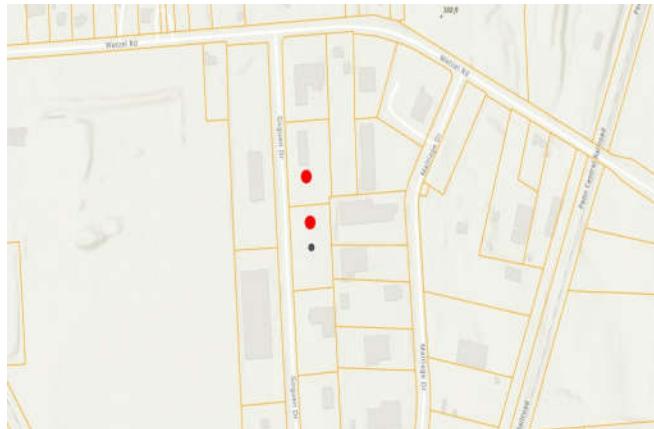
RECOMMENDATION: **Modification**

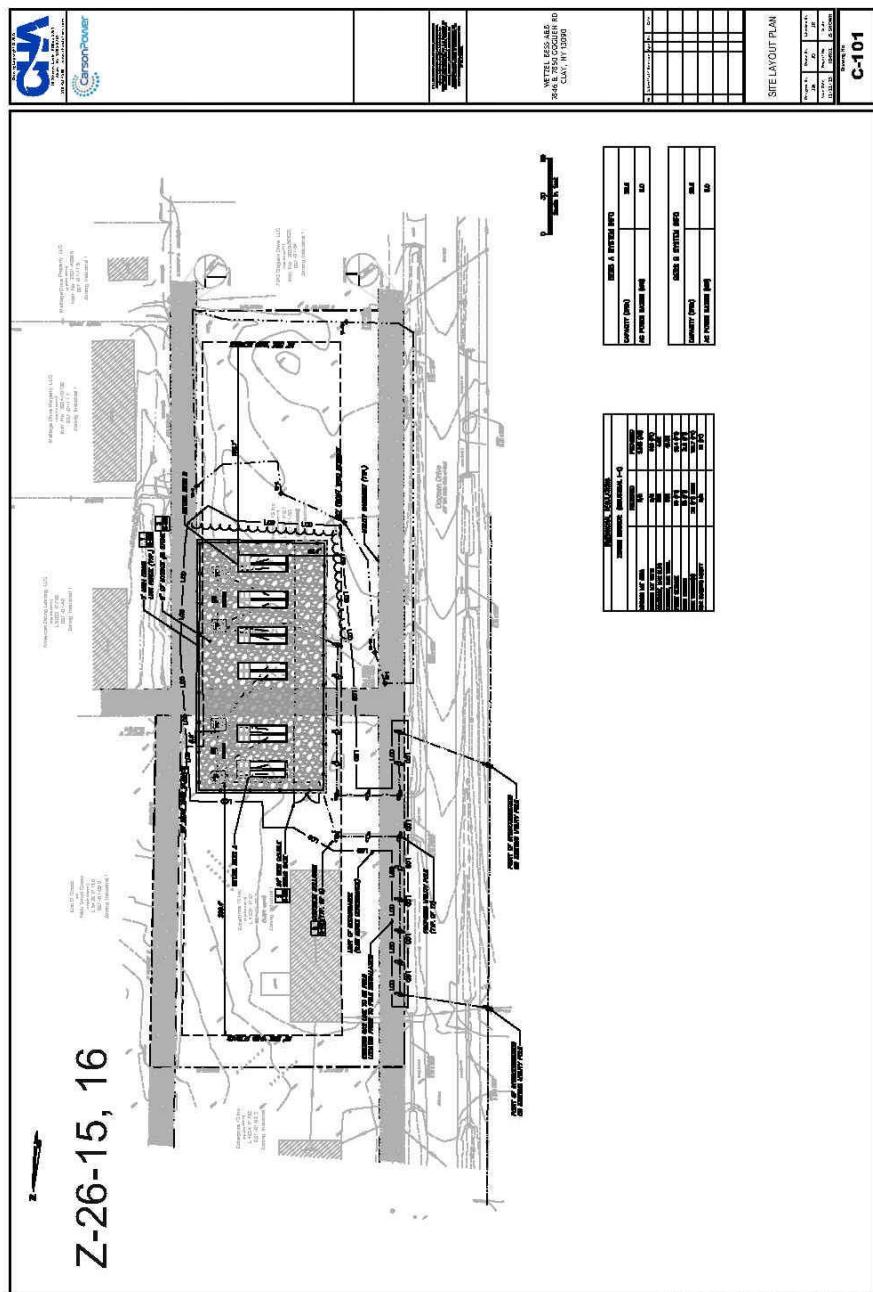
JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of Wetzel Road (Route 252), a county highway

SUMMARY:

the applicant is requesting a special permit to allow construction of (2) 5 MW Battery Energy Storage Systems (BESS) on two parcels totaling 2.65 acres in an Industrial (I-1) zoning district





STAFF REVIEW:

Concurrent Reviews:	Site Plan referral (Z-26-15) for this proposed Battery Energy Storage System (BESS).
Nearby Uses/Setting:	The area is characterized by a mix of industrial and commercial land uses, Wetzel Road, a county highway, and between CSX rail lines. Nearby uses include a sign company, an exhibit design and fabrication company, and a construction/demolition company.
Existing Site Layout:	The site contains two parcels, both with frontage on Goguen Drive. The northern parcel contains an existing building, parking lot and driveway to Goguen Drive, and cross access to the parking lot and facility to the north. Per aerial imagery, the vacant southern parcel contains trees and shrubs.
Proposed Site Layout:	Per the Site Layout Plan dated 12/22/25, the BESS will be constructed at the rear of the site, across the parcel boundary. The six BESS units will be installed in a fenced-in gravel area along with the associated electrical equipment. Two sets of overhead electrical lines will connect the fenced-in area to utility poles along the Goguen Drive frontage and to two interconnection points on existing utility poles across Goguen Drive.
	Per the plans, the existing building and driveway to Goguen Drive will remain. The southern portion of the existing parking lot is to be removed to contain the BESS.
Project Detail:	Per the Project Narrative dated 1/2026, the applicant is proposing construction of "two 5 MW AC, 4-hour duration BESS", noting the final battery size "will be dependent upon National Grid study results."
	Per the Project Narrative, the BESS would cover 20,600 sf and would require utility poles to be installed to allow utility interconnection.
Access:	The existing driveway from Goguen Drive will remain. No new driveways are proposed.
Easements:	Per the Site Layout Plan, 20'-wide utility easements occur along the Goguen Drive frontage, along the boundary between parcels, and along the rear site boundary. The fenced-in area will occur across the utility easement and utility poles are to be installed within the utility easement along Goguen Drive. Per the Site Layout Plan, the "existing gas line to be field located prior to pole installation."
Stormwater:	Per the Environmental Assessment Form (EAF) dated 12/29/25, 0.83 acres of the site will be disturbed by the proposed project. Stormwater mitigation is not addressed in the referral materials.
	ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), any project that cumulatively disturbs one acre or more of land must be covered by the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval.
Drinking Water:	A new connection to public drinking water is proposed to serve the site.

ADVISORY NOTE: OCWA's Engineering Department requires the applicant to contact them to determine water availability and service options, obtain hydrant test information, evaluate backflow prevention requirements, and/or request the Authority conduct hydrant flow testing to assess fire flow availability.

Wastewater: A new connection to the public sewers is proposed to serve the site which is located in the Wetzel Road Wastewater Treatment Plant and Sawmill Pump Station areas.

ADVISORY NOTE: The Onondaga County Department of Water Environment Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connector>

Wetlands: The Project Narrative notes the BESS and supporting equipment will be located "outside of the delineated wetland on the southern property" and that wetlands "received a negative Jurisdictional Determination from the NYSDEC", further noting both parcels received a "negative Jurisdictional Determinations".

GIS mapping depicts nearby state and federal wetlands, but does not show the site or on adjacent parcels.

Per the Existing Conditions map dated 12/22/25, the wetland was delineated. A letter of No Jurisdiction dated 10/14/25 from the NYSDEC had been received, but the date of the wetland delineation was not provided. Per the Site Layout Plan, BESS and associated development will occur outside of the wetland boundary.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-25

Case Number: **Z-26-25**

Related Cases: **Z-26-26**

Referring Board: Town of Van Buren
Planning Board

Type of Action: **SITE PLAN**

Keyword: **River Mall Plaza - Simple Roast Cof**

Applicant: **Matthew Peirson**

Location: **at 2265 Downer Street Road**

Tax Map ID: **034.-04-06.1**

RECOMMENDATION: **Modification**

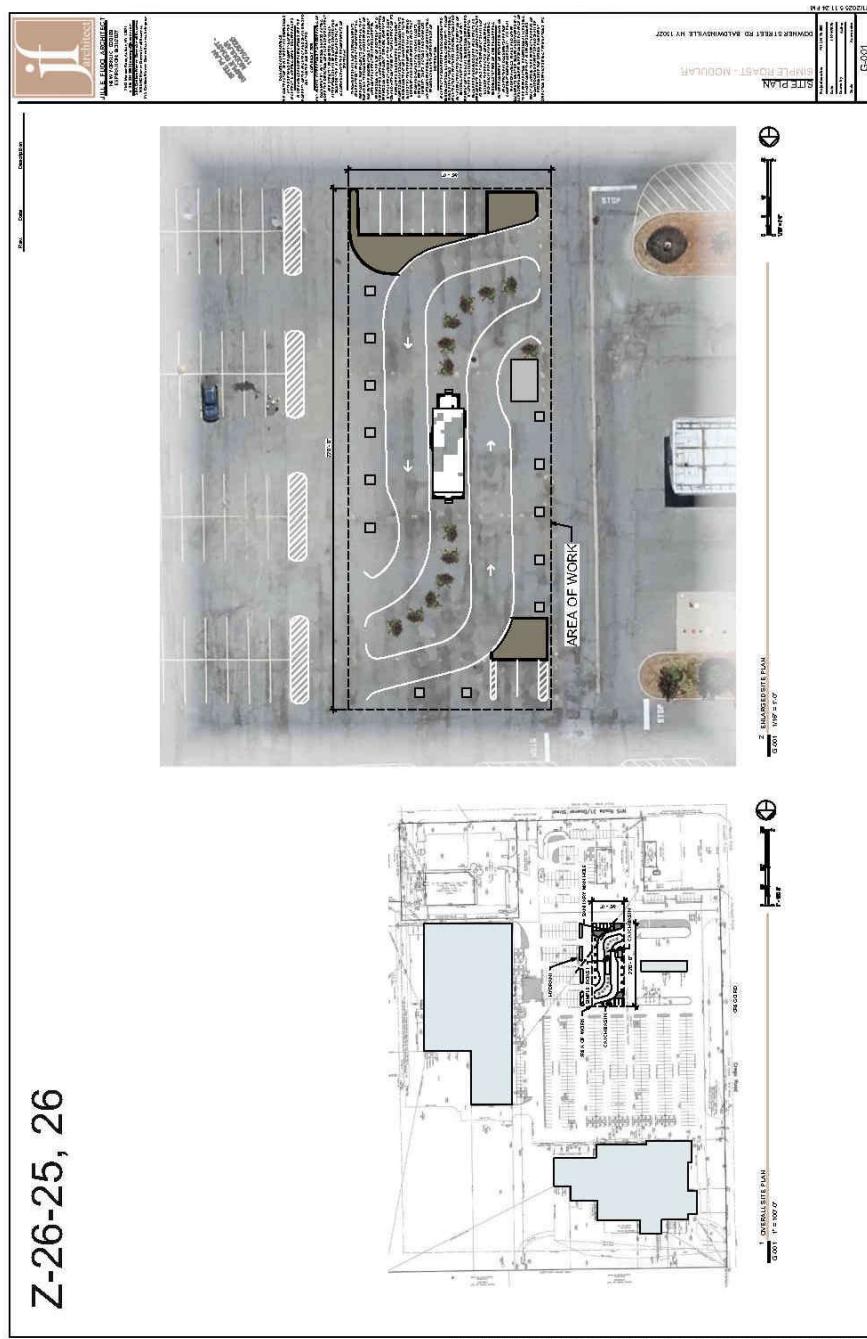
JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Downer Street Road (Route 92), a county highway

SUMMARY:

the applicant is proposing to install a single-story 380 sf drive-thru coffee hut (Simple Roast Coffee) on a portion of the existing River Mall parking lot on a 21.77-acre parcel in a General Business zoning district





STAFF REVIEW:

Concurrent Reviews:	Special Permit referral (Z-26-26) to allow drive-in service.
Past Board Reviews:	The Board has reviewed multiple referrals regarding the site, River Mall Plaza (Z-26-260, Z-25-261) recently recommending Modification of site plan and change of use referral 260, Z-25-261) to establish a Little Caesars restaurant within an existing space. The Board has advised the applicant to contact the Onondaga County Department of Water Environment Protection (OCDWEP) regarding a required re-inspection of the premises and required permits. Prior to that, the Board offered No Position Comment on a site plan application (Z-11-15) to construct a gas station on a portion of the River Mall shopping center site. The Board encouraged the municipality to establish sidewalk policies to enable the extension of a pedestrian network along Downer Street and to connect nearby residential neighborhoods. The Board encouraged the applicant and municipality to reduce impermeable surfaces and utilize green infrastructure, and recommending a reduction of area dedicated to parking.
Location:	The parcel contains the River Mall shopping plaza with two commercial buildings at the rear of the property, a small commercial building in the front of the plaza, and a shared parking lot. Commercial uses located within the plaza include a Thrift Shopper, liquor store, and Tops supermarket. Surrounding uses include agricultural land to the north, Diane Reeves Memorial Park to the east and commercial uses including Apex Power Equipment, McDonalds, and Aldi to the west and south.
Project Detail:	Per the Project Narrative dated 12/22/25, the applicant is proposing construction of a 380 sf "drive-through coffee hut" at the center of the mall's parking lot behind the existing gas station. The proposed wooden structure will have porches connecting at either end. Per the Floor Plan dated 1/16/26, there will be no customer service within the drive-up store. Per the Site Plan dated 11/24/25, the building will have a single drive-thru lane on either side of the hut with possible landscaping extending from the building to the drive-thru lanes. A dumpster enclosure will be constructed and 7 parking spaces will be striped for employees. The proposal will result in a decrease of total spaces within the plaza parking lot. Note, the Site Plan lacks clarifying details and labeling. It is unclear if there will be curbing installed, if dark gray areas depicted on the plan will be landscape in a different surface, or will be outlined by striping.
Access:	Access to the plaza comes from Downer Street Road, a county road, and C Road, a local road. No changes are proposed.
Drinking Water:	A new connection to public drinking water is proposed for the new building. Layout and Utility Plan dated 12/18/25, water service for the proposed building will come from an existing hydrant located within the parking lot. ADVISORY NOTE: The applicant is advised to contact OCWA's Engineering Department to determine the activities and structures permitted within OCW easements/rights-of-way, water availability and service options, obtain hydrant information, and coordinate with the utility provider to ensure a safe and reliable connection.

test information, evaluate backflow prevention requirements, and/or request the Authority conduct hydrant flow testing to assess fire flow availability.

Wastewater: A new connection to public sewers is proposed for the new building. The site is located in the Baldwinsville-Seneca Knolls Wastewater Treatment Plant and Baldwinsville South and River Mall Pump Stations service areas. Per the Land Use and Utility Plan, sewer service for the proposed building will come from an existing sanitary sewer line bisecting the parking lot.

ADVISORY NOTE: The Onondaga County Department of Water Environment and Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connector>

Bike/Ped/Transit: Per the Central New York Regional Transportation Authority (CENTRO), Downer Street Road has public transit service and bus stops are located adjacent to the site.

Bike/Ped/Transit: There are sidewalks along Downer Street Road, but no sidewalks leading to the buildings on site.

Watersheds: Per the EAF Mapper, the site is located over, or immediately adjoining, principal aquifers.

Agriculture: The parcel is adjacent to active farmlands enrolled in a NYS Agricultural District (District 3). The parcels that appear to contain active farmland are located to the rear of the parcel behind the existing Tops facility and are not directly adjacent to the subject area.

Historic Resources: The site is located near the Mrs. I. L. Crego House which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the National Register of Historic Places. Additionally, per the EAF Mapper, the portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the NYS Historic Preservation Office archaeological inventory.

ADVISORY NOTE: NYS regulations require the applicant and/or municipality to contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality (SEQRA) process.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-26

Case Number: **Z-26-26**
Related Cases: **Z-26-25**
Referring Board: **Town of Van Buren
Zoning Board of Appeals**
Type of Action: **SPECIAL PERMIT**

Keyword: **River Mall Plaza - Simple Roast Coffe**
Applicant: **Matthew Peirson**
Location: **at 2265 Downer Street Road**
Tax Map ID: **034.-04-06.1**

RECOMMENDATION: **Modification**

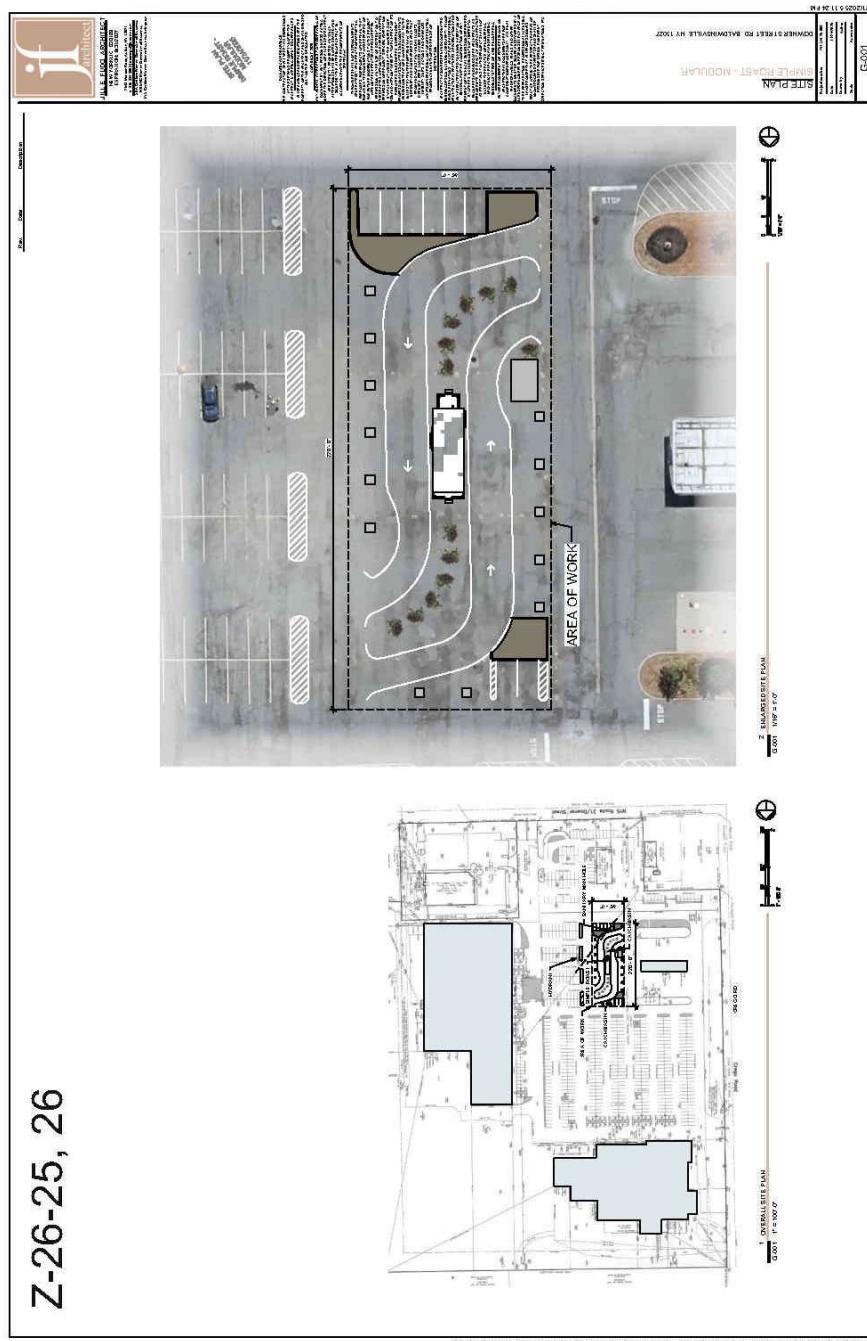
JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of Downer Street Road (Route 92), a county highway

SUMMARY:

the applicant is requesting a special permit to allow the installation of a single-story 380 sf drive-thru coffee hut on a portion of the existing parking lot on a 21.77-acre parcel in a General Business zoning district





STAFF REVIEW:

Concurrent Reviews:	Site Plan referral (Z-26-25) to construct a standalone drive-thru coffee hut.
Past Board Reviews:	The Board has reviewed multiple referrals regarding the site, River Mall Plaza (Z-26-260, Z-25-261) recently recommending Modification of site plan and change of use referral 260, Z-25-261) to establish a Little Caesars restaurant within an existing space. The Board has advised the applicant to contact the Onondaga County Department of Water Environment Protection (OCDWEP) regarding a required re-inspection of the premises and required permits. Prior to that, the Board offered No Position Comment on a site plan application (Z-11-15) to construct a gas station on a portion of the River Mall shopping center site. The Board encouraged the municipality to establish sidewalk policies to enable the extension of a pedestrian network along Downer Street and to connect nearby residential neighborhoods to commercial uses, encouraged the applicant and municipality to reduce impermeable surfaces and utilize green infrastructure, and recommending a reduction of area dedicated to parking.
Location:	The parcel contains the River Mall shopping plaza with two commercial buildings at the rear of the property, a small commercial building in the front of the plaza, and a shared parking lot. Commercial uses located within the plaza include a Thrift Shopper, liquor store, and Tops supermarket. Surrounding uses include agricultural land to the north, Diane Reeves Memorial Park to the east and commercial uses including Apex Power Equipment, McDonalds, and Aldi to the west and south.
Project Detail:	Per the Project Narrative dated 12/22/25, the applicant is proposing to construct a 380 sf "drive-through coffee hut" at the center of the mall's parking lot below the existing gas station. The proposed wooden structure will have porches connecting at either end. Per the Floor Plan dated 1/16/26, there will be no customer service within the drive-up store. Per the Site Plan dated 11/24/25, the building will have a single drive-thru lane on either side of the hut with possible landscaping extending from the building to the drive-thru lanes. A dumpster enclosure will be constructed and 7 parking spaces will be striped for employees. The proposal will result in a decrease of total spaces within the plaza parking lot. Note, the Site Plan lacks clarifying details and labeling. It is unclear if there will be curbing installed, if dark gray areas depicted on the plan will be landscape in a different surface, or will be outlined by striping.
Access:	Access to the plaza comes from Downer Street Road, a county road, and Custer Road, a local road. No changes are proposed.
Drinking Water:	A new connection to public drinking water is proposed for the new building. According to the Layout and Utility Plan dated 12/18/25, water service for the proposed building will come from an existing hydrant located within the parking lot.
Wastewater:	A new connection to public sewers is proposed for the new building. The site is located in the Baldwinsville-Seneca Knolls Wastewater Treatment Plant and Baldwinsville South and River Mall Pump Stations service areas. Per the Layout and Utility Plan dated 12/18/25, wastewater will be sent to the Baldwinsville South Pump Station.

and Utility Plan, sewer service for the proposed building will come from an existing sanitary sewer line bisecting the parking lot.

ADVISORY NOTE: The Onondaga County Department of Water Environment and Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connector>

Bike/Ped/Transit: Per the Central New York Regional Transportation Authority (CENTRO), Downer Street Road has public transit service and bus stops are located adjacent to the site.

Bike/Ped/Transit: There are sidewalks along Downer Street Road, but no sidewalks leading to buildings on site.

Watersheds: Per the EAF Mapper, the site is located over, or immediately adjoining, principal aquifers.

Agriculture: The parcel is adjacent to active farmlands enrolled in a NYS Agricultural District (District 3). The parcels that appear to contain active farmland are located to the rear of the parcel behind the existing Tops facility and are not directly adjacent to the subject area.

Historic Resources: The site is located near the Mrs. I. L. Crego House which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the National Register of Historic Places. Additionally, per the EAF Mapper, the portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the NYS Historic Preservation Office archaeological inventory.

ADVISORY NOTE: NYS regulations require the applicant and/or municipality to contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality (SEQRA) process.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-9

Case Number: **Z-26-9**
Related Cases: Z-26-10 S-26-1
Referring Board: Town of Clay Town Board
Type of Action: ZONE CHANGE

Keyword: Summit Federal Credit Union
Applicant: The Summit Federal Credit Union
Location: at 4955 West Taft Road
Tax Map ID: 107.-14-26.1, 107.-14-27.1

RECOMMENDATION: **Modification**

JURISDICTION:

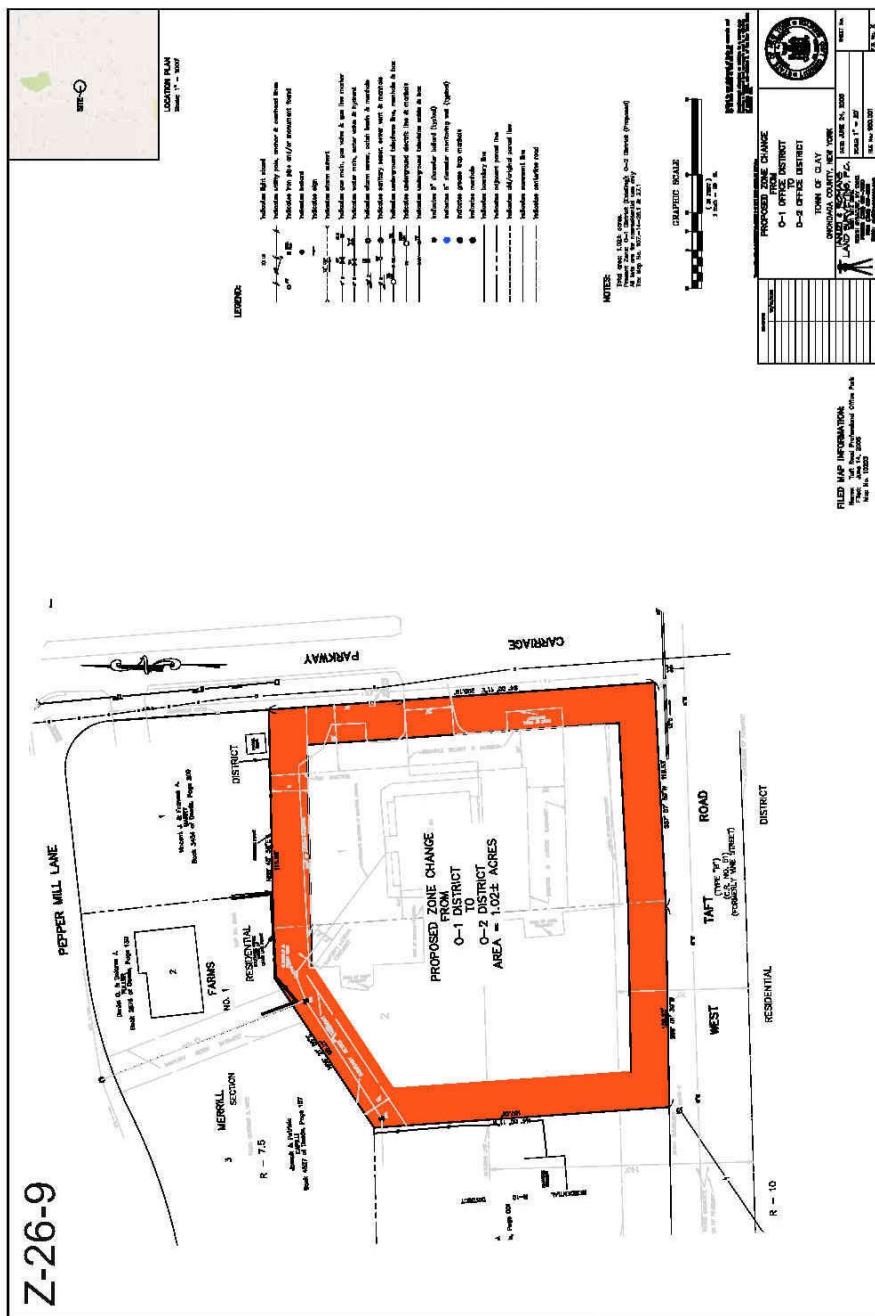
General Municipal Law Section 239-m allows the County Planning Board to review the adoption or amendment of a zoning ordinance or local law and the site is located within 500 feet of West Taft Road (Route 51), a county highway



SUMMARY:

the applicant is proposing a zone change on two parcels totaling 1.07 acres from Neighborhood Office (O-1) to Office (O-2) to allow for the construction of a credit union





STAFF REVIEW:

Past Board Reviews:	Site plan referral (Z-06-282) to construct a 2,439 sf office building on site. The Board held No Position.
Concurrent Reviews:	Special permit and subdivision referrals (Z-26-10 and S-26-1).
Nearby Uses/Setting:	The site is located along West Taft Road, County Route 51, with additional property along Carriage Parkway, a local road. The site is across Carriage Parkway from Wegmans and is part of the Merrill Farms subdivision. The Taft Road corridor this area is characterized by a mixture of commercial businesses along major roads surrounded by residential neighborhoods. Adjacent parcels contain residential uses.
Existing Site Layout:	The site is comprised of two parcels located on West Taft Road, a vacant western parcel and an eastern parcel currently containing an office building (to be demolished) with a driveway to Carriage Parkway.
Proposed Site Layout:	Per the Lot Nos. 1 & 2 Taft Road Professional Office Park Map dated 12/15/2015, the two parcels comprising the site will be combined into a new 1.02-acre lot.
Current Zoning:	Per the Town Zoning Map dated 12/2017, the site is in an O-1 (Neighborhood Office) zoning district. Residential parcels to the west and north (rear) of the site are zoned R-7.5 (One-Family Residential District), the adjacent Wegmans property is zoned RC-1 (Regional Commercial), and the Pinecrest Apartment Complex to the rear of the plaza is zoned R-Apt (Apartment District).
Proposed Zoning:	The applicant requests a zone change from O-1 (Neighborhood Office District 2 (Office) to allow the proposed credit union. Per Town Code, the O-2 district is intended "to preserve the existing residential quality along portions of major roads within the Town. It shall also respect the general character of the surrounding area while permitting alternative and compatible office development on selected parcels that are not suitable for residential use. This district shall emphasize the sensitive design of any proposed office uses to ensure compatibility with the existing and planned residential development."
	Uses permitted within O-2 include office buildings and instructional facilities, schools, day-care centers, and libraries with special permit approval, and emergency vehicle stations, banks/credit unions, medical offices, and drive thru service with a special permit approved by the Town Board.
Other:	The applicant is requesting two special permits to allow the proposed credit union to operate in an O-2 zoning district and to allow drive-thru service.
Proposed Site Layout:	Per the Taft Road Branch Conceptual Site Plan (undated), the existing building will be demolished to allow construction of the proposed 3,100 sf credit union. The Conceptual Plan depicts the drive-thru queue along the rear of the building with a three-lane drive-thru with bypass lane along the western side of the building. A 19-space parking lot will be located between the building and the West Taft Road frontage.

ADVISORY NOTE: Per the Onondaga County Department of Water Enviro

Protection, any and all demolition of buildings requires a permit for sewer disconnects. The applicant must contact Plumbing Control to ensure appropriate permits are obtained.

Landscaping:	Per the Taft Road Branch – Concept 2 Plan (undated), it appears landscape screening will be located along the rear and side site boundaries, between thru and adjacent residential parcels. Plant or tree varieties are not specified.
Access:	Per the Taft Road Branch Conceptual Site Plan (undated), proposed access to the credit union will utilize the existing site access to Carriage Parkway, a local road. ADVISORY NOTE: Per the Onondaga County Department of Transportation, additional access to West Taft Road will be permitted.
Drinking Water:	A new connection to public drinking water is proposed for the new building. ADVISORY NOTE: OCWA's Engineering Department requires the applicant to contact them to determine water availability and service options, obtain hydro test information, evaluate backflow prevention requirements, and/or request the Authority conduct hydrant flow testing to assess fire flow availability.
Wastewater:	A new connection to public sewers is proposed for the new building and the site is located in the Oak Orchard Wastewater Treatment Plant and Davis Road Fire Station service areas. ADVISORY NOTE: The Onondaga County Department of Water Environment Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: http://ongov.net/wep/connector
Easements:	Per the Taft Road Professional Office Park Map, a 15'-wide sanitary sewer easement occurs at the rear of the western parcel, extending to the rear of the existing building. A 25' and 20'-wide Ingress & Egress Easement is located along the site's driveway to Carriage Parkway and extends through the front parking lot. ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection (WEP), no permanent structures are permitted within the County easement. Any other work within the County easement must be coordinated with WEP.
Bike/Ped/Transit:	The Syracuse Metropolitan Transportation Council (SMTTC) has created a Sustainable Streets Guide, which includes the identification of priority sidewalk zones where the installation of sidewalks would be most beneficial. This site is located within a priority zone. Per aerial imagery from May 2024, there are no sidewalks along Carriage Parkway or West Taft Road.
Bike/Ped/Transit:	Per the Central New York Regional Transportation Authority (CENTRO), West Taft Road has public transit service and bus stops are located on West Taft Road adjacent to the site.
Other:	The project is within 2,000 feet of a site (ID: 734051) in the NYS Department of Environmental Conservation's (DEC) Adirondack Park.

Environmental Conservation Environmental Site Remediation database (per EAF Mapper).

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 S-26-1

Case Number: S-26-1

Keyword: Summit Federal Credit Union

RelatedCases: Z-26-9 Z-26-10

Applicant: The Summit Federal Credit Union

Referring Board: Town of Clay Planning Board

Location: at 4955 West Taft Road

Type of Action: SUBDIVISION

Tax Map ID: 107.-14-26.1, 107.-14-27.1

RECOMMENDATION: No Position With Comment

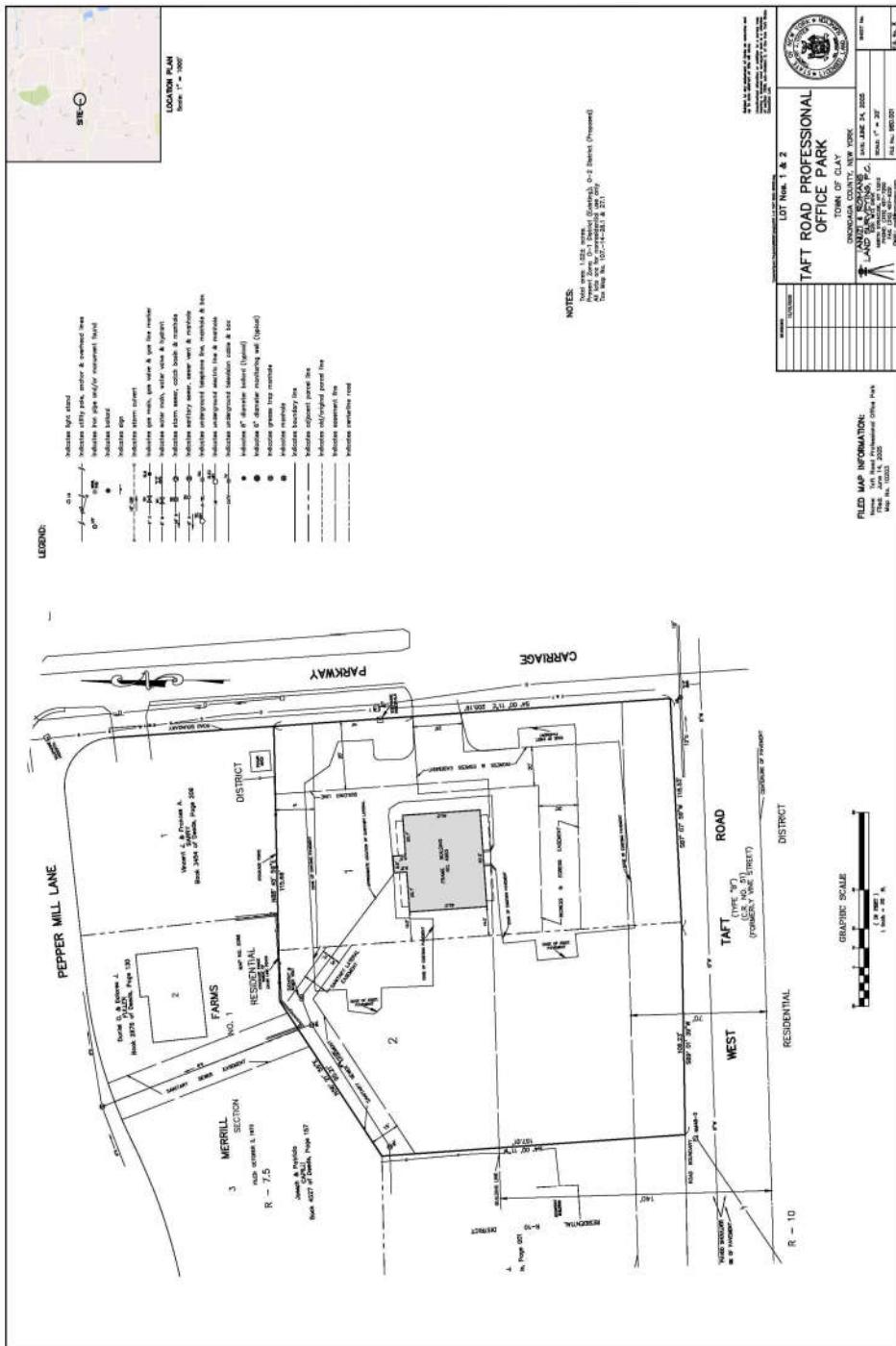
JURISDICTION:

General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of West Taft Road (Route 51), a county highway

SUMMARY:

the applicant is proposing to combine two parcels totaling 1.07 acres to allow for the construction of a credit union in a proposed Office (O-2) zoning district





STAFF REVIEW:

Past Board Reviews:	Site plan referral (Z-06-282) to construct a 2,439 sf office building on site. The Board held No Position.
Concurrent Reviews:	Zone change and special permit referrals (Z-26-9 and Z-26-10).
Nearby Uses/Setting:	The site is located along West Taft Road, County Route 51, with additional property along Carriage Parkway, a local road. The site is across Carriage Parkway from Wegmans and is part of the Merrill Farms subdivision. The Taft Road corridor this area is characterized by a mixture of commercial businesses along major roads surrounded by residential neighborhoods. Adjacent parcels contain residential uses.
Existing Site Layout:	The site is comprised of two parcels located on West Taft Road, a vacant western parcel and an eastern parcel currently containing an office building (to be demolished) with a driveway to Carriage Parkway.
Proposed Site Layout:	Per the Lot Nos. 1 & 2 Taft Road Professional Office Park Map dated 12/15/2015, the two parcels comprising the site will be combined into a new 1.02-acre lot.
Current Zoning:	Per the Town Zoning Map dated 12/2017, the site is in an O-1 (Neighborhood Office) zoning district. Residential parcels to the west and north (rear) of the site are zoned R-7.5 (One-Family Residential District), the adjacent Wegmans Plaza is zoned RC-1 (Regional Commercial), and the Pinecrest Apartment Complex to the rear of the plaza is zoned R-Apt (Apartment District).
Proposed Zoning:	The applicant requests a zone change from O-1 (Neighborhood Office District) to O-2 (Office) to allow the proposed credit union. Per Town Code, the O-2 district is intended "to preserve the existing residential quality along portions of major roads within the Town. It shall also respect the general character of the surrounding areas while permitting alternative and compatible office development on selected parcels that are not suitable for residential use. This district shall emphasize the sensitive design of any proposed office uses to ensure compatibility with the existing and planned residential development." Uses permitted within O-2 include office buildings and instructional facilities, schools, day-care centers, and libraries with special permit approval, and emergency vehicle stations, banks/credit unions, medical offices, and drive thru service with a special permit approved by the Town Board.
Other:	The applicant is requesting two special permits to allow the proposed credit union to operate in an O-2 zoning district and a special permit to allow drive-thru service.
Proposed Site Layout:	Per the Taft Road Branch Conceptual Site Plan (undated), the existing building will be demolished to allow construction of the proposed 3,100 sf credit union. The Conceptual Plan depicts the drive-thru queue along the rear of the building with a three-lane drive-thru with bypass lane along the western side of the building. A 19-space parking lot will be located between the building and the West Taft Road frontage.

ADVISORY NOTE: Per the Onondaga County Department of Water Enviro

Protection, any and all demolition of buildings requires a permit for sewer disconnects. The applicant must contact Plumbing Control to ensure appropriate permits are obtained.

Landscaping:	Per the Taft Road Branch – Concept 2 Plan (undated), it appears landscaping will be located along the rear and side site boundaries, between thru and adjacent residential. Plant or tree varieties are not specified.
Access:	Per the Taft Road Branch Conceptual Site Plan (undated), proposed access credit union will utilize the existing site access to Carriage Parkway. ADVISORY NOTE: Per the Onondaga County Department of Transportation, additional access to West Taft Road will be permitted.
Drinking Water:	A new connection to public drinking water is proposed for the new building. ADVISORY NOTE: OCWA's Engineering Department requires the applicant to contact them to determine water availability and service options, obtain hydro test information, evaluate backflow prevention requirements, and/or request the Authority conduct hydrant flow testing to assess fire flow availability.
Wastewater:	A new connection to public sewers is proposed for the new building and the site is located in the Oak Orchard Wastewater Treatment Plant and Davis Road F Station service areas. ADVISORY NOTE: The Onondaga County Department of Water Environment Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: http://ongov.net/wep/connector
Easements:	Per the Taft Road Professional Office Park Map, a 15'-wide sanitary sewer easement occurs at the rear of the western parcel, extending to the rear of the existing building. A 25' and 20'-wide Ingress & Egress Easement is located along the site's driveway to Carriage Parkway and extends through the front parking area.
Bike/Ped/Transit:	The Syracuse Metropolitan Transportation Council (SMTTC) has created a Sustainable Streets Guide, which includes the identification of priority sidewalk zones where the installation of sidewalks would be most beneficial. This site is located within a priority zone. Per aerial imagery from May 2024, there are no sidewalks along Carriage Parkway or West Taft Road.
Bike/Ped/Transit:	Per the Central New York Regional Transportation Authority (CENTRO), West Taft Road has public transit service and bus stops are located on West Taft Road adjacent to the site.
Other:	The project is within 2,000 feet of a site (ID: 734051) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per Mapper).
Historic	The site or a portion of it is located in or adjacent to an area designated as

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 S-26-1

Resources: for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-14

Case Number: Z-26-14

Keyword:

Related Cases:

Applicant: Roland & LuAnn Burke

Referring Board: Town of Cicero Town Board

Location: at 6668 & 6674 State Route 31

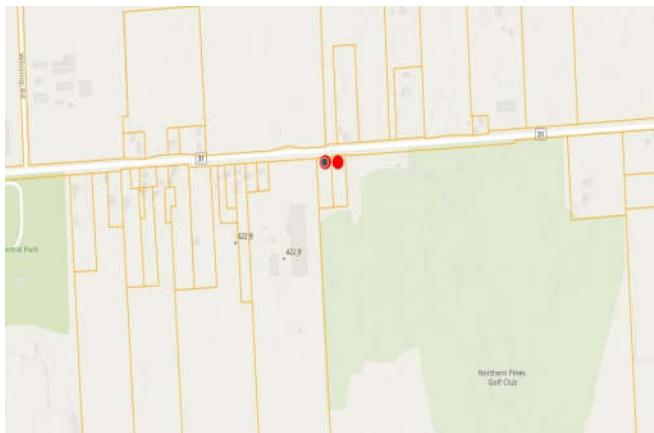
Type of Action: ZONE CHANGE

Tax Map ID: 061.-01-15.1, 061.-01-15.2

RECOMMENDATION: No Position With Comment

JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review the adoption or amendment of a zoning ordinance or local law and the site is located within 500 feet of State Route 31, a state highway

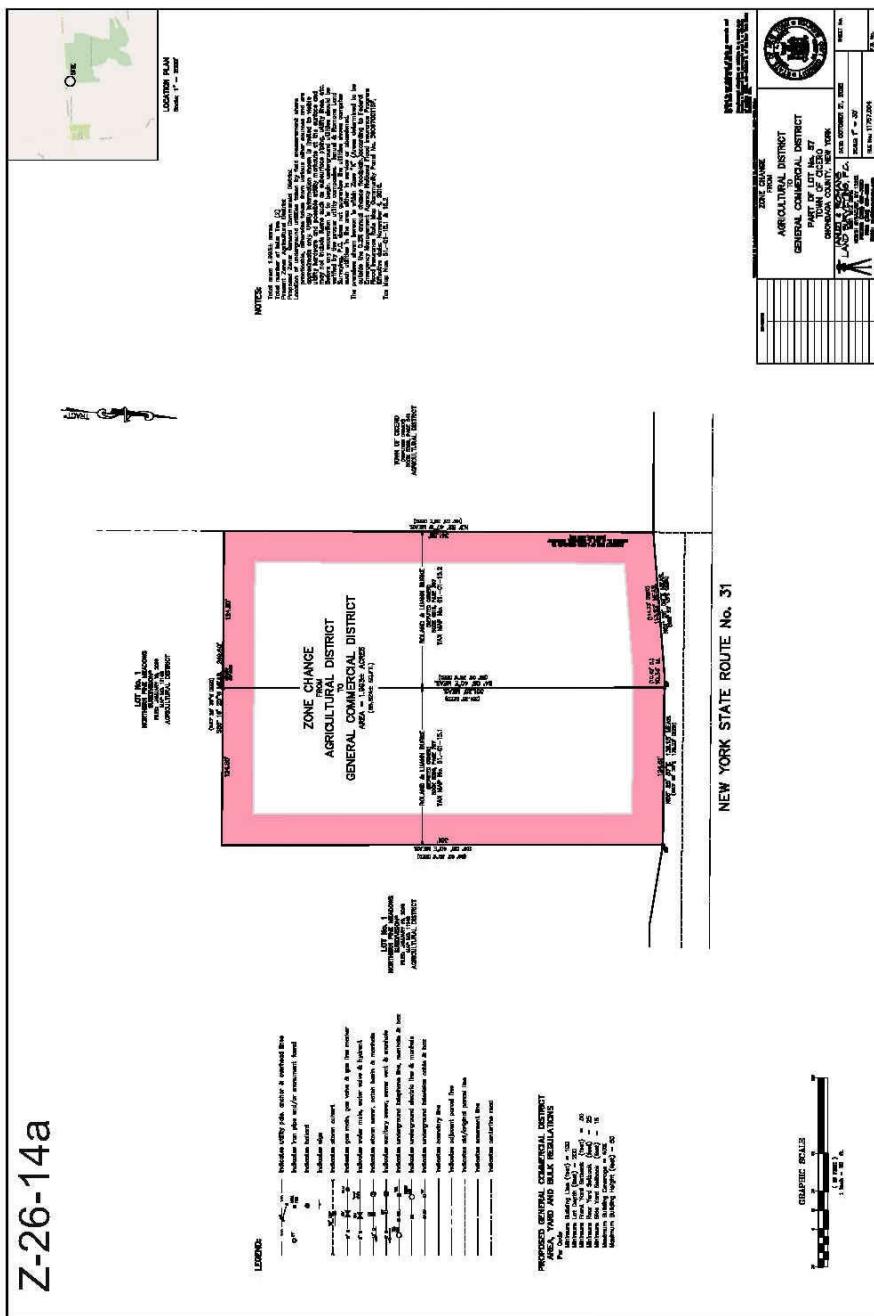


SUMMARY:

the applicant is proposing a zone change on two parcels totaling 1.993 acres from Agricultural with Mixed Residential Overlay to General Commercial to allow for a future undefined commercial use



Z-26-14a



STAFF REVIEW:

Nearby Uses/Setting:	The site is located along the south side of NYS Route 31 in an area characterized by large parcels containing a mix of uses. The Northern Pines Golf Club abuts the site to the east and south, the Cicero Highway Department is adjacent to the site to the west, and Low density residential, woodlands, active agriculture, and Chandler Automall are located across Route 31 from the site.
Current Zoning:	The site is located in and primarily surrounded by an Agricultural (AG) and Residential Overlay district with the exception being a 116-acre parcel located across NYS Route 31 from the site, in a Residential 10000 (R10) district.
Proposed Zoning:	<p>Per the referral notice, the applicant is seeking to place the site into a General Commercial (GC) zoning district to “accommodate an undefined future commercial use.”</p> <p>Per the Town Code, the GC district is intended “to provide for those medium commercial uses whose primary market is Town-wide. Such uses tend to be located on county or state highways of medium to high traffic volume. The size of such uses generally should not exceed 50,000 square feet.”</p> <p>Allowed uses include shopping center, hotels and motels, gas/service stations, car-wash facilities, restaurants and drive-in activities, health related facilities, assembly, automobile sales and service, including recreational vehicles and boats, and veterinary clinics.</p>
Existing Site Layout:	Per aerial imagery from May 2024, the site contains two parcels, an eastern parcel and a western parcel containing an approximately 900 sf building with a gravel driveway to Route 31.
Proposed Site Layout:	Per the Sketch Plan dated 1/17/25, the applicant illustrates construction of a 1,500 sf building on each parcel with gravel areas to be located between the buildings and Route 31.
Local Plans:	<p>Per the Cicero Comprehensive Plan Future Land Use Map, the site is located in an area identified for Residential and Agricultural uses. Per the Plan, the “Agricultural Land Use Category encompasses active farmland as well as land that could be suitable for farming or otherwise contributes to the rural character of the Town.” The Residential Land Use Category “reflects the Town’s desire to preserve the rural character of its established residential neighborhoods.”</p> <p>While a GC zoning district may be inconsistent with the goals of the Residential Land Use Category, the relatively small size of the parcels and location along Route 31 is in keeping with the description of the GC district.</p>
Access:	<p>The Sketch Plan depicts both parcels with individual 30'-wide driveways to Route 31.</p> <p>ADVISORY NOTE: Per the NYS Department of Transportation, all existing and proposed driveways on must meet Department requirements.</p>
Stormwater:	The Sketch Plan does not depict any stormwater management features. The Environmental Assessment Form solely addresses the zone change and no stormwater management features are proposed.

future development of the site.

ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), a project that cumulatively disturbs one acre or more of land must be covered by the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval.

Drinking Water: Per the referral notice, the site is served by public drinking water and no changes to the current infrastructure are proposed.

ADVISORY NOTE: OCWA's Engineering Department requires the applicant to contact them to determine water availability and service options;

Wastewater: There is no existing wastewater service to the site and no changes are proposed at this time, however any development will require on-site wastewater facilities as public sewerage infrastructure is not available to the site. The building renderings on the Sketch Plan do not allow significant area for septic.

The site is located in the Brewerton Wastewater Treatment Plant Service area approximately 400' from existing sewers.

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as a potential archaeological site on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper)

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-22

Case Number: **Z-26-22**

Keyword:

Related Cases: **Z-26-23**

Applicant: **Robert Loring**

Referring Board: **Village of Liverpool
Planning Board**

Location: **at 519 First Street**

Type of Action: **SITE PLAN**

Tax Map ID: **005.-09-15.0**

RECOMMENDATION: No Position With Comment

JURISDICTION:

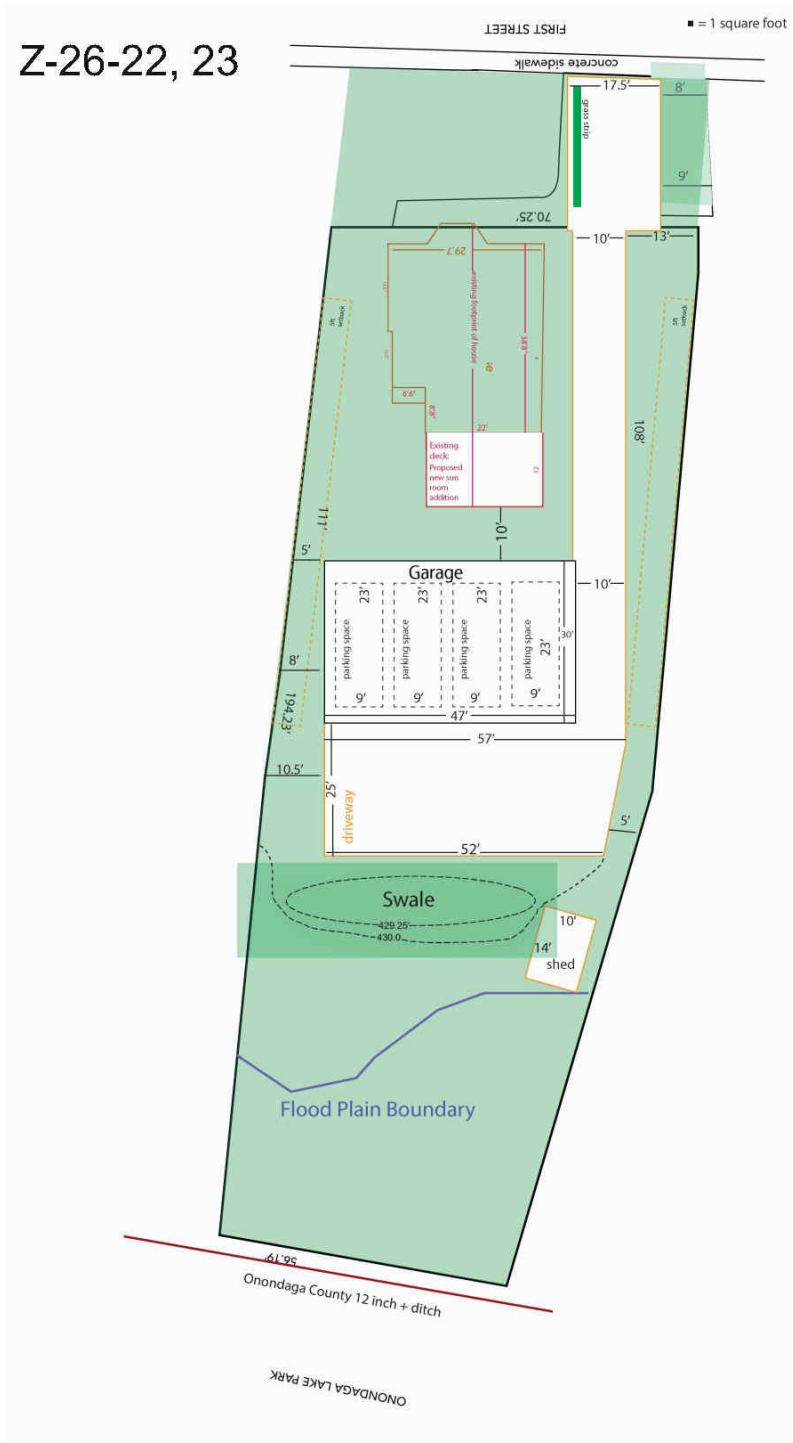
General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Second Street (Route 370), a state highway, and Onondaga Lake Park, a county-owned facility



SUMMARY:

the applicant is proposing to build an addition and deck on an existing three-family residence on a 0.32-acre parcel in a Residential (R-2) zoning district





STAFF REVIEW:

Past Board Reviews:	The Board previously offered No Position with Comment on a site plan (Z-25-237) for similar changes proposed for the site.
Concurrent Reviews:	Special Permit referral (Z-26-23) to allow construction of a 1-story 4-car garage.
Location:	The site is a multi-family house in the Village of Liverpool, abutting Onondaga Park, a county park, along a highly used trail and visible from that trail. The site has an approximately 25'-wide driveway to First Street which is adjacent to the neighbor's driveway and parking area to the east. Both the site's driveway and adjacent driveway/parking area are located in the Village right-of-way which is shown on aerial imagery from May 2024, is consistent with many of the houses on the street. The site has a substantial slope to the rear of the property.
Project Detail:	The applicant proposes demolition of a rear addition, decks, and associated stairways and reconstruction of the rear two-story addition to be code compliant within the existing building footprint. Per the Project Narrative, the addition will "provide enclosed heated living space within the existing foundations." The Project Narrative does not discuss the proposed garage.
Proposed Site Layout:	Per an untitled, undated Site Plan, the applicant will narrow the existing driveway from First Street and will install an 8-9'-wide landscaped strip between the driveway and the adjacent parcel's driveway. A "grass strip" is shown on the Site Plan between the driveway, possibly indicating separation between the driveway and a sidewalk leading to the house, but this detail is unclear. The driveway will narrow to 10'-wide the remaining length of the driveway to a 25'x52'x57' parking area that will provide access to a new one-story, four-car garage. Vehicle-access to the garage will come from the lake-facing side of the garage. Construction material of the driveway is unclear. Per Village Planning Board minutes from 10/27/25, the proposed driveway has been approved. The rear parking area is set back 5' from the eastern parcel boundary and 10' from the western site boundary. The proposed garage will be setback 5' from the western parcel boundary.
Stormwater:	Per the Environmental Assessment Form (EAF) dated 1/1/2026, 0.03 acres of the site will be disturbed by the proposed project. The Site Plan depicts a swale constructed to the rear of the parking area. A 10'x14' shed is shown adjacent to the swale. The shed is not present in aerial photography and is not detailed in the project descriptions.
Existing Site Layout:	Per GIS mapping and aerial photography, the ground slopes down approximately 19 feet to the rear of the parcel, with a substantial change of elevation from the front of the house to the rear of the house. The downslope lands contain Federal Emergency Management Agency (FEMA) floodplain areas related to Onondaga Lake. The referral materials do not include any planned measures to mitigate the slope.
Floodplain/Flood	FEMA Flood Insurance Rate Maps (FIRM) indicate the rear of the site is located in a 100-year floodplain.

way: within the 100-year floodplain for Onondaga Lake, which may require avoid elevation of structures and other mitigation. Per the submitted Site Plan, the floodplain as mapped does not appear to encroach within the limits of the property. However, drainage into the floodplain could be affected by the proposed site changes.

ADVISORY NOTE: The Onondaga County Hazard Mitigation Plan has identified flooding as a natural hazard of local concern, with the potential to cause extensive threat to property and safety. Buildings within the floodplain can negatively impact the free flow of nearby waterways and drainage, and building within a floodplain is therefore discouraged.

Drinking Water: The site is served by public drinking water. It is not clear if any changes to the existing infrastructure are proposed.

ADVISORY NOTE: OCWA's Engineering Department may require the applicant to contact them to determine water availability and service options.

Wastewater: The site is served by public sewers and is located in the Metropolitan Wastewater Treatment Plant and Liverpool Pump Station service areas. It is not clear if changes to the existing infrastructure are proposed.

ADVISORY NOTE: The Onondaga County Department of Water Environment and Protection (OCDWEP) may require capacity assurance due to a possible increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connector>

Other: The project is within 2,000 feet of a site (ID: 734030) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper). The site is also located over, or immediately adjoining, primary and principal aquifers (per EAF Mapper).

Plants/Animals: The site may contain the Indiana bat, Northern Long-eared bat, and Straight pondweed, or its associated habitat, which has been listed by the state or federal government as a threatened or endangered animal species (per EAF Mapper). Impacts to bat species are often associated with tree clearing and from the removal of materials, it appears that no trees will be removed as part of the proposed project.

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as an area of archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).

ADVISORY NOTE: NYS regulations require the applicant and/or municipality to contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality (SEQR) process.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-22

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-23

Case Number: **Z-26-23**

Keyword:

Related Cases: **Z-26-22**

Applicant: **Robert Loring**

Referring Board: **Village of Liverpool
Planning Board**

Location: **at 519 First Street**

Type of Action: **SPECIAL PERMIT**

Tax Map ID: **005.-09-15.0**

RECOMMENDATION: No Position With Comment

JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of Second Street (Route 370), a state highway, and Onondaga Lake Park, a county-owned facility



SUMMARY:

the applicant is requesting a special permit to allow construction of a one-story detached four-car garage at an existing three-family residence on a 0.32-acre parcel in a Residential (R-2) zoning district





STAFF REVIEW:

Past Board Reviews:	The Board previously offered No Position with Comment on a site plan (Z-25-237) for similar changes proposed for the site.
Concurrent Reviews:	Site Plan referral (Z-26-22) to rebuild the proposed addition.
Location:	The site is a multi-family house in the Village of Liverpool, abutting Ononda Park, a county park, along a highly used trail and visible from that trail. The site has an approximately 25'-wide driveway to First Street which is adjacent to the neighbor's driveway and parking area to the east. Both the site's driveway and adjacent driveway/parking area are located in the Village right-of-way which is shown on aerial imagery from May 2024, is consistent with many of the houses on the street. The site has a substantial slope to the rear of the property.
Project Detail:	The applicant proposes demolition of a rear addition, decks, and associated stairways and reconstruction of the rear two-story addition to be code compliant within the existing building footprint. Per the Project Narrative, the addition will "provide enclosed heated living space within the existing foundations." The Project Narrative does not discuss the proposed garage.
Proposed Site Layout:	Per an untitled, undated Site Plan, the applicant will narrow the existing driveway from First Street and will install an 8-9'-wide landscaped strip between the driveway and the adjacent parcel's driveway. A "grass strip" is shown on the Site Plan between the driveway and the adjacent parcel's driveway, possibly indicating separation between the driveway and a sidewalk leading to the house, but this detail is unclear. The driveway will narrow to 10'-wide the remaining length of the driveway to a 25'x52'x57' parking area that will provide access to a new one-story, four-car garage. Vehicle-access to the garage will come from the lake-facing side of the garage. Construction material of the driveway is unclear. Per Village Planning Board minutes from 10/27/25, the proposed driveway has been approved. The rear parking area is set back 5' from the eastern parcel boundary and 10' from the western site boundary. The proposed garage will be setback 5' from the western parcel boundary.
Stormwater:	Per the Environmental Assessment Form (EAF) dated 1/1/2026, 0.03 acres of the site will be disturbed by the proposed project. The Site Plan depicts a swale constructed to the rear of the parking area. A 10'x14' shed is shown adjacent to the swale. The shed is not present in aerial photography and is not detailed in the project descriptions.
Existing Site Layout:	Per GIS mapping and aerial photography, the ground slopes down approximately 19 feet to the rear of the parcel, with a substantial change of elevation from the front of the house to the rear of the house. The downslope lands contain Federal Emergency Management Agency (FEMA) floodplain areas related to Onondaga Lake. The referral materials do not include any planned measures to mitigate the slope.
Floodplain/Flood	FEMA Flood Insurance Rate Maps (FIRM) indicate the rear of the site is located in a 100-year floodplain.

way: within the 100-year floodplain for Onondaga Lake, which may require avoid elevation of structures and other mitigation. Per the submitted Site Plan, the floodplain as mapped does not appear to encroach within the limits of the property. However, drainage into the floodplain could be affected by the proposed site changes.

ADVISORY NOTE: The Onondaga County Hazard Mitigation Plan has identified flooding as a natural hazard of local concern, with the potential to cause extensive threat to property and safety. Buildings within the floodplain can negatively impact the free flow of nearby waterways and drainage, and building within a floodplain is therefore discouraged.

Drinking Water: The site is served by public drinking water. It is not clear if any changes to the existing infrastructure are proposed.

ADVISORY NOTE: OCWA's Engineering Department may require the applicant to contact them to determine water availability and service options.

Wastewater: The site is served by public sewers and is located in the Metropolitan Wastewater Treatment Plant and Liverpool Pump Station service areas. It is not clear if changes to the existing infrastructure are proposed.

ADVISORY NOTE: The Onondaga County Department of Water Environment and Protection (OCDWEP) may require capacity assurance due to a possible increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connector>

Other: The project is within 2,000 feet of a site (ID: 734030) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper). The site is also located over, or immediately adjoining, primary and principal aquifers (per EAF Mapper).

Plants/Animals: The site may contain the Indiana bat, Northern Long-eared bat, and Straight pondweed, or its associated habitat, which has been listed by the state or federal government as a threatened or endangered animal species (per EAF Mapper). Impacts to bat species are often associated with tree clearing and from the removal of materials, it appears that no trees will be removed as part of the proposed project.

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as an area of archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).

ADVISORY NOTE: NYS regulations require the applicant and/or municipality to contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality Assessment (SEQRA) process.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-23

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-20

Case Number: **Z-26-20**

Related Cases:

Referring Board: Town of Salina Zoning
Board of Appeals

Type of Action: SITE PLAN

Keyword: Stor Haus

Applicant: Commerce Boulevard Stor-Haus, Lt

Location: at 230 Commerce Boulevard

Tax Map ID: 026.-02-24.0

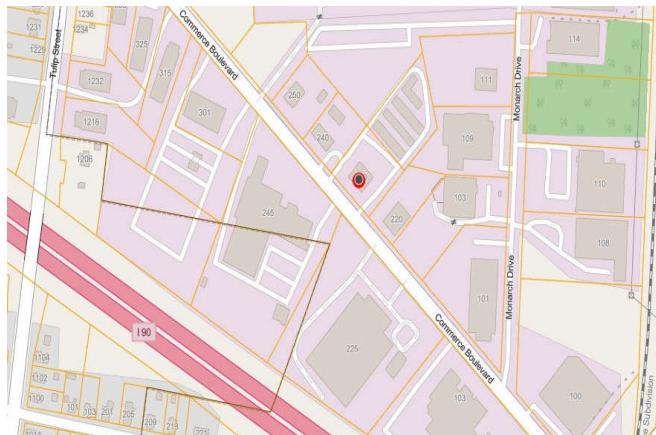
RECOMMENDATION: **No Position**

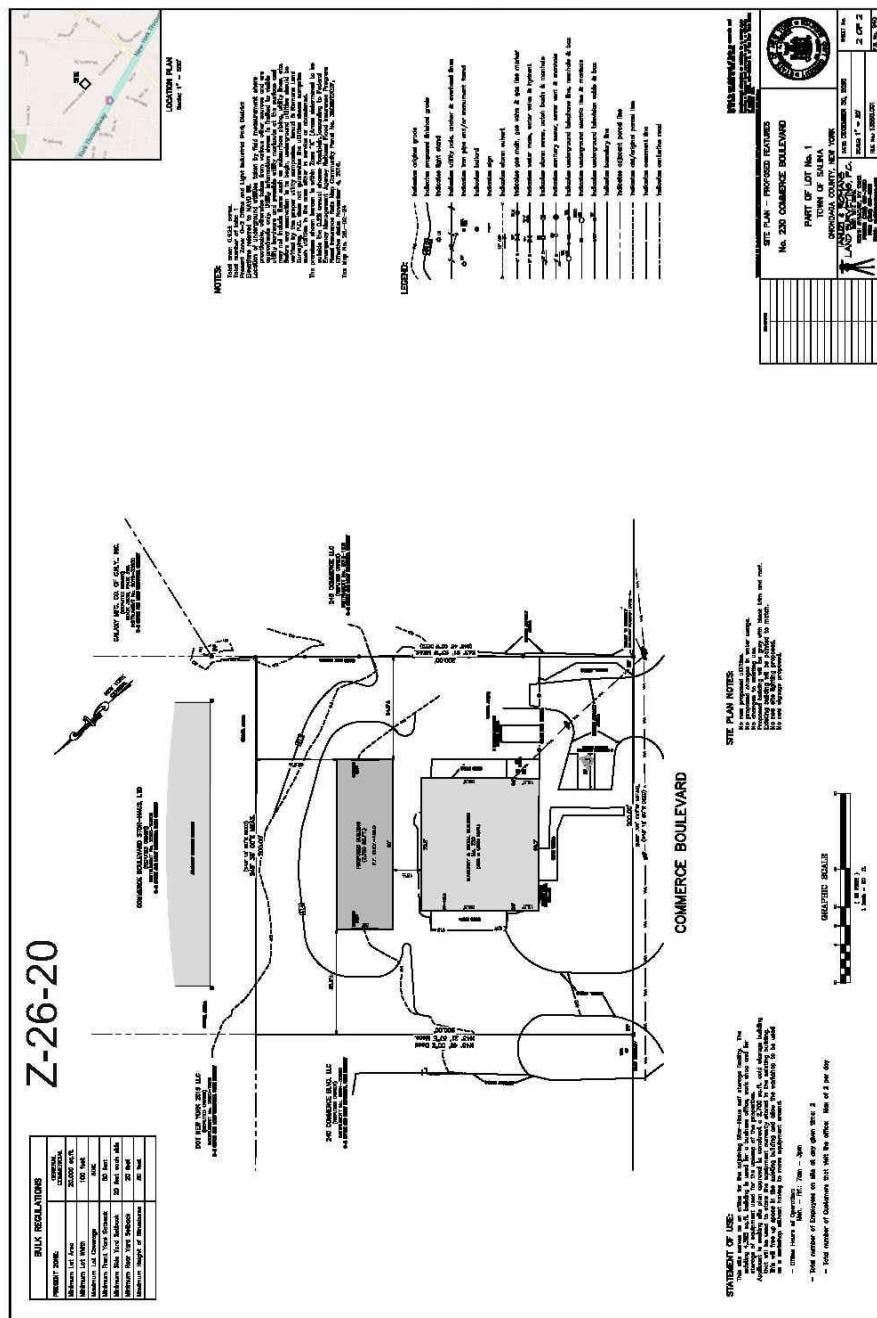
JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of the municipal boundary between the Town of Salina and the Village of Liverpool

SUMMARY:

the applicant is proposing construction of a 2,700 sf cold storage building on a 0.92-acre parcel in an Office and Light Industrial Park (O-2) zoning district





STAFF REVIEW:

Nearby Uses/Setting:	The site is located along Commerce Boulevard in an area characterized by commercial uses, distribution centers, and warehouses. Nearby uses include a food company, a food redistributor, TJ Sheehan Distributing, and EAG laboratories.
Existing Site Layout:	The site contains a self-storage company in a 4,385 sf building along the Commerce Drive frontage with gravel areas located along the sides and rear.
Access:	The site has two driveways to Commerce Boulevard, a local road. No changes are proposed.
Project Detail:	The applicant proposes construction of a 2,700 sf cold storage building to be located to the rear of the main building.
Stormwater:	Per the Environmental Assessment Form (EAF) dated 1/5/26, 0.28 acres of land will be disturbed by the proposed project.
Drinking Water:	The site is served by public drinking water and no changes to the existing infrastructure are proposed.
Wastewater:	The site is served by public sewers and is located in the Metropolitan Waste Treatment Plant and Floradale and Liverpool Pump Stations service areas. No changes to the existing infrastructure are proposed.
Other:	The project is within 2,000 feet of a site (ID: 734065) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper).
Watersheds:	The site is located over, or immediately adjoining, a principal aquifer (per EAF Mapper).
Plants/Animals:	The site may contain the Indiana bat, or its associated habitat, which has been listed by the state or federal government as a threatened or endangered animal species (per EAF Mapper). Impacts to bat species are often associated with clearing and from aerial imagery it appears that there are no wooded areas near the site.
Historic Resources:	The site or a portion of it is located in or adjacent to an area designated as a potential archaeological site on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).
ADVISORY NOTE: NYS regulations require the applicant and/or municipality to contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality (SEQRA) process.	

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-20

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-21

Case Number: **Z-26-21**

Related Cases:

Referring Board: Village of Liverpool
Planning Board

Type of Action: SITE PLAN

Keyword: Liverpool Fire Department

Applicant: Liverpool Fire Department / Mark P

Location: at 1110 Oswego Street

Tax Map ID: 007.-04-01.2

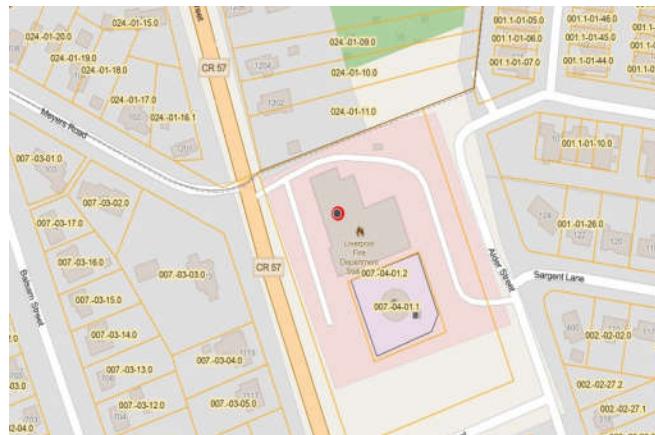
RECOMMENDATION: **No Position**

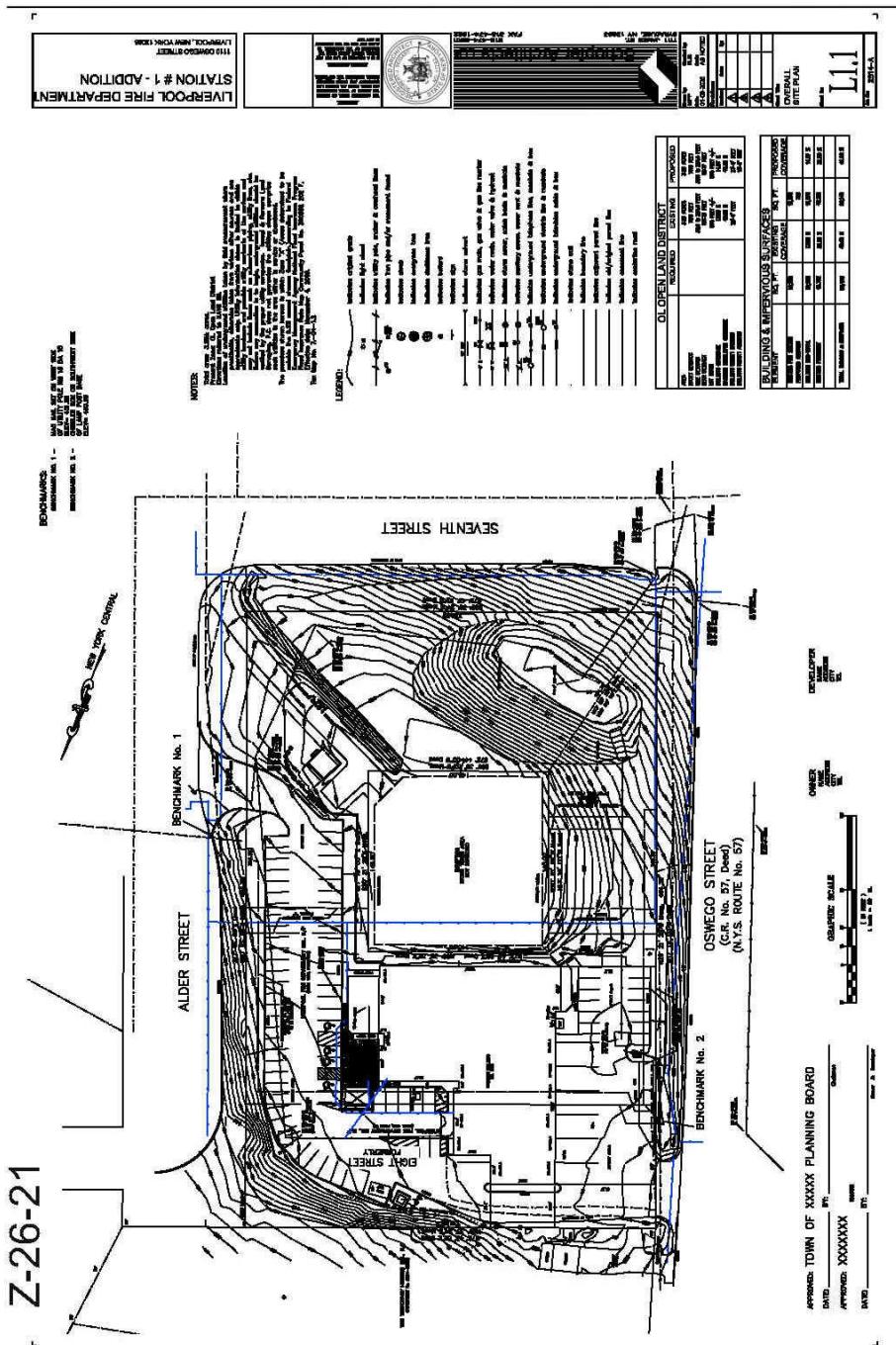
JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Oswego Street (Route 91 / Old Route 57), a county highway, and the municipal boundary between the Village of Liverpool and the Town of Salina

SUMMARY:

the Liverpool Fire Department is proposing to construct a 700 sf addition to the existing fire department on a 3.26-acre parcel in an Open Land (OL) zoning district





STAFF REVIEW:

Location:	The site is the Liverpool Fire Department, a complex located within a residential neighborhood. An OCWA water tower is located on a separate parcel, encompassed by the Fire Department site.
Existing Site Layout:	The site contains an approximately 19,600 sf fire department building with wings located on either side.
Project Detail:	<p>The applicant is proposing construction of a 700 sf addition to provide sleeping accommodations for 7 volunteer firefighters.</p> <p>Per the Overall Site Plan and Enlarged Site Plans and Details, both dated 1/5/26, the 28'x25' addition will be constructed at the northeast corner of the existing building, in a location currently occupied by a pergola. The pergola will be removed to the parking lot, adjacent to the proposed addition.</p> <p>Per the Enlarged Site Plan, a portion of the existing asphalt parking lot and concrete pavement will be removed and reconstructed to allow the addition and relocation of the pergola. Per the Architectural Narrative, the amount of paved and concrete will remain the same at 46,162 sf.</p>
Access:	Driveway access to Oswego Street, a County route, and Alder Street, a local street. No changes are proposed.
Parking:	The parking lot contains 75 spaces and no changes to the parking number are expected to result from the proposal.
Easements:	<p>Per the Topographic Survey dated 12/4/25, multiple easements are located on the property including an ingress & egress easement allowing access to the OCWA Water Tower over the existing driveway, two 20'-wide water main easements connecting the OCWA Tower to water lines under Alder and Oswego Streets, a 10'-wide Telephone & Electric Easement connects the OCWA Tower to the Oswego Street frontage, and a Niagara Mohawk Power Corporation Gas Easement occurs on the Oswego Street frontage.</p> <p>The proposed location of the pergola appears to encroach on a Telephone Easement which occurs along the Alder Street frontage before connecting to the Fire Department building.</p> <p>ADVISORY NOTE: The municipality is encouraged to ensure all necessary permissions or permits for work within an easement are obtained.</p>
Stormwater:	<p>Per the Environmental Assessment Form (EAF) dated 1/5/26, 0.06 acres of land will be disturbed by the proposed project and "the existing site has a storm management system and detention basin connected to the local municipal storm system." Per the Enlarged Site Plan, an existing yard drain will be removed during construction of the addition.</p> <p>ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), any project that cumulatively disturbs one acre or more of land must be covered by the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation.</p>

Conservation prior to municipal approval.

Drinking Water: The site is served by public drinking water and no changes to the existing infrastructure are proposed.

ADVISORY NOTE: OCWA's Engineering Department may require the applicant to contact them to determine water availability and service options.

Wastewater: The site is served by public sewers and is located in the Metropolitan Waste Treatment Plant and Floradale and Liverpool Pump Stations service areas. No changes to the existing infrastructure are proposed.

ADVISORY NOTE: The Onondaga County Department of Water Environment and Protection (OCDWEP) may require capacity assurance due to a possible increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connector>

Watersheds: The site is located over, or immediately adjoining, a principal aquifer (per EAF Mapper)

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as a historic district or for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).

Plants/Animals: The site may contain the Indiana bat, or its associated habitat, which has been listed by the state or federal government as a threatened or endangered animal species (per EAF Mapper). Impacts to bat species are often associated with tree clearing and from aerial imagery it appears that there are no wooded areas near the site

Other: The project is within 2,000 feet of a site (ID: 734065) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper)

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-27

Case Number: **Z-26-27**

Related Cases:

Referring Board: Town of DeWitt Planning Board

Type of Action: SITE PLAN

Keyword: LeMoyne College

Applicant: Fouad Dietz (LeMoyne College)

Location: at 1419 Salt Springs Road

Tax Map ID: 044.-09-01.1

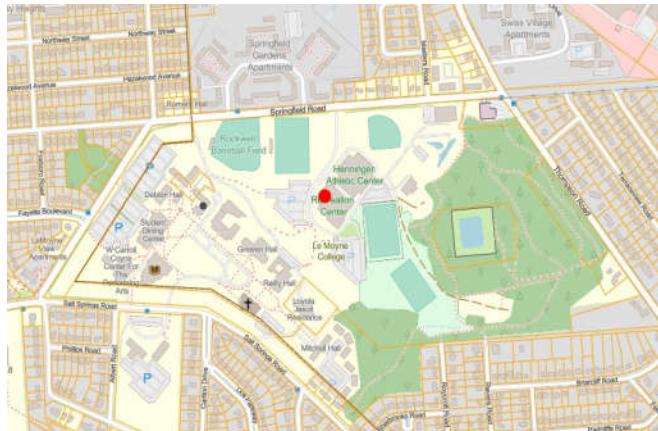
RECOMMENDATION: No Position

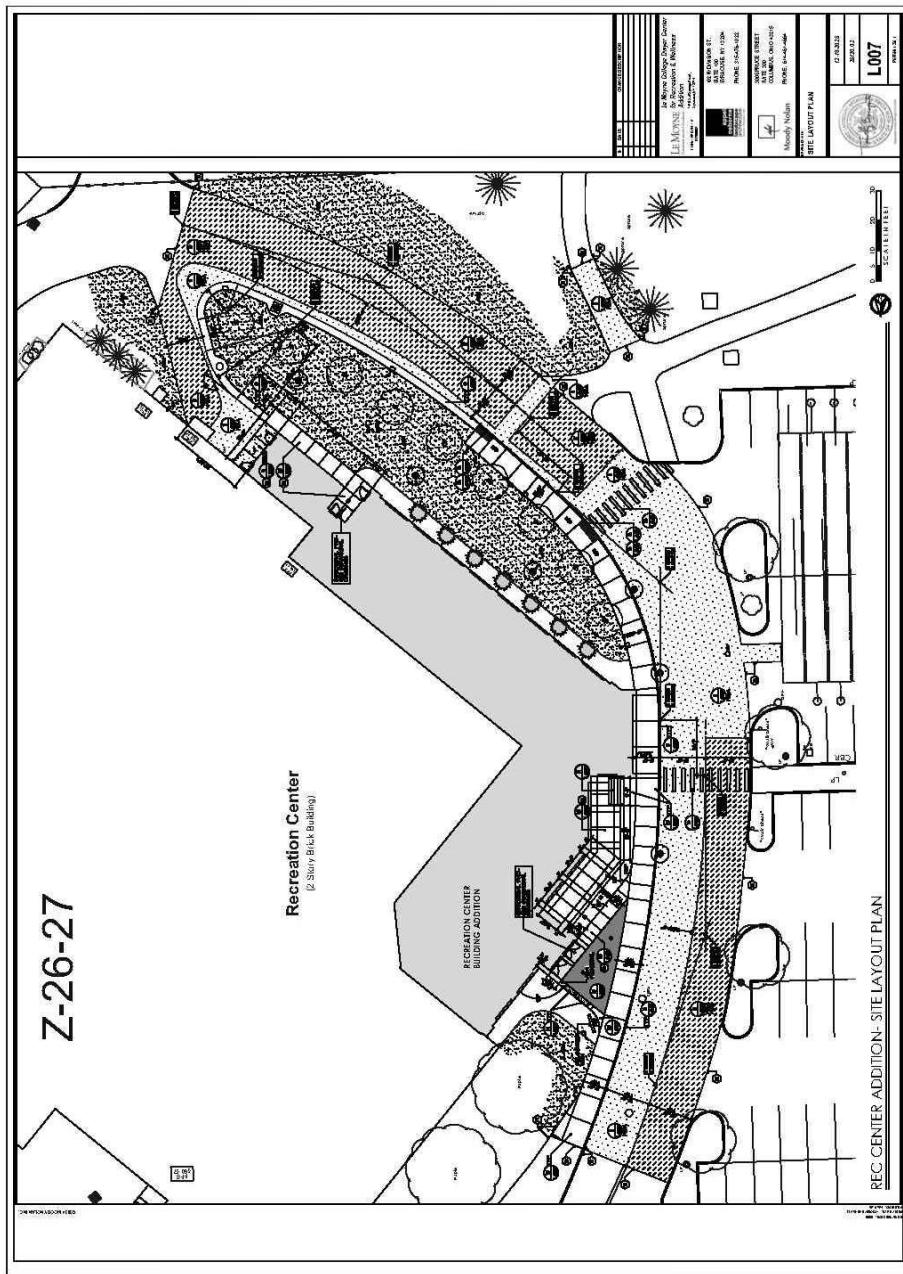
JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of the municipal boundary between the Town of DeWitt and the City of Syracuse

SUMMARY:

the applicant (LeMoyne College) is proposing construction of an 8,400 sf addition to the existing Recreation Center on a 102-acre parcel in a Residential (R-2) zoning district





STAFF REVIEW:

Past Board Reviews:	The Board has reviewed numerous referrals regarding the LeMoyne College campus, most recently having No Position on a site plan referral (Z-25-92) multiple improvements to the campus quad area. Other referrals include: p comment on a use variance referral for another parcel located at LeMoyne (Z-24-92) to allow a parking lot, encouraging the College to add pedestrian infrastructure to Salt Springs Road, connecting the campus with the adjacent neighborhood, holding No Position on site plan referrals (Z-21-119, Z-21-122) modifications to Grewen Hall and the campus quad at LeMoyne College, and site plan referrals (Z-19-107, Z-11-319) to modernize waterline infrastructure along the quad and establishing a new softball field on campus.
Location:	The site contains a significant portion of the LeMoyne College campus which is located both in the Town of DeWitt and on the eastern side of the City with the subject parcel located exclusively within the Town of DeWitt. The subject property is located on the frontage along Springfield and Thompson Roads and proximity to Salt Springs Road. Other surrounding land uses include various residential properties.
Existing Site Layout:	The subject area is the Recreation Center and Athletic Center complex at the college campus, surrounded by athletic fields, parking lots, and lawn.
Project Detail:	Per the Site Layout Plan dated 12/18/25, the applicant proposes to construct an 8,400 sf addition to the front corner of the Recreation Center to allow “internal renovation of the existing exercise and sports facilities.” This addition will occur in an area currently covered by lawn and trees and will require reconstruction of the sidewalk in that area.
Landscaping:	Per the Site Planting Plan dated 12/18/25, new trees, plantings, and landscape beds will be installed in the area around the proposed addition.
Stormwater:	Per the Environmental Assessment Form (EAF) dated 12/18/25, 0.70 acres of the site will be disturbed by the proposed project and “stormwater will be directed to the existing campus stormwater conveyance systems and stormwater management practices currently in use.”
	ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), a project that cumulatively disturbs one acre or more of land must be covered by the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval.
Drinking Water:	The addition will connect to existing public drinking water infrastructure.
Wastewater:	The addition will connect to existing public sewer infrastructure. The site is located in the Metropolitan Wastewater Treatment Plant service area.
	ADVISORY NOTE: The Onondaga County Department of Water Environment and Protection (OCDWEP) may require capacity assurance due to a possible increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form ar

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT JANUARY 28 2026 Z-26-27

approval process can now be found online: <http://ongov.net/wep/connector>

ADVISORY NOTE: Per the Onondaga County Department of Water Enviro Protection, any and all demolition of buildings requires a permit for sewer disconnects. The applicant must contact Plumbing Control to ensure appropriate permits are obtained.

Watersheds: A portion of the site is located in an Onondaga County Drainage District for Trap and Ley Creek, which is maintained by the Department of Water Enviro Protection in this area.

Plants/Animals: The site may contain the Northern long-eared bat, or its associated habitat, has been listed by the state or federal government as a threatened or endangered animal species (per EAF Mapper). Impacts to bat species are often associated with tree clearing and per the referral, more plantings and trees will be installed as part of this project.

ADVISORY NOTE: Per the NYS Department of Environmental Conservation, if the site contains a threatened or endangered species and/or associated habitat, and the project requires review under the State Environmental Quality Review (SEQRA), a request for a project screening should be submitted to the New York State Natural Heritage Program or to the regional DEC Division of Environmental Conservation office.

ADVISORY NOTE: Per GML § 239-nn, the legislative body or other authorized body having jurisdiction in a municipality shall give notice to an adjacent municipality when a hearing is held by such body relating to a subdivision, a special use permit, or a use variance on property that is within five hundred feet of an adjacent municipality. Such notice shall be given by mail or electronic transmission to the clerk of the adjacent municipality at least ten days prior to such hearing.

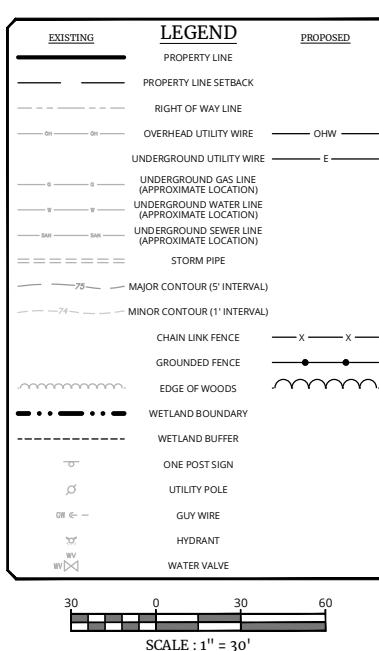
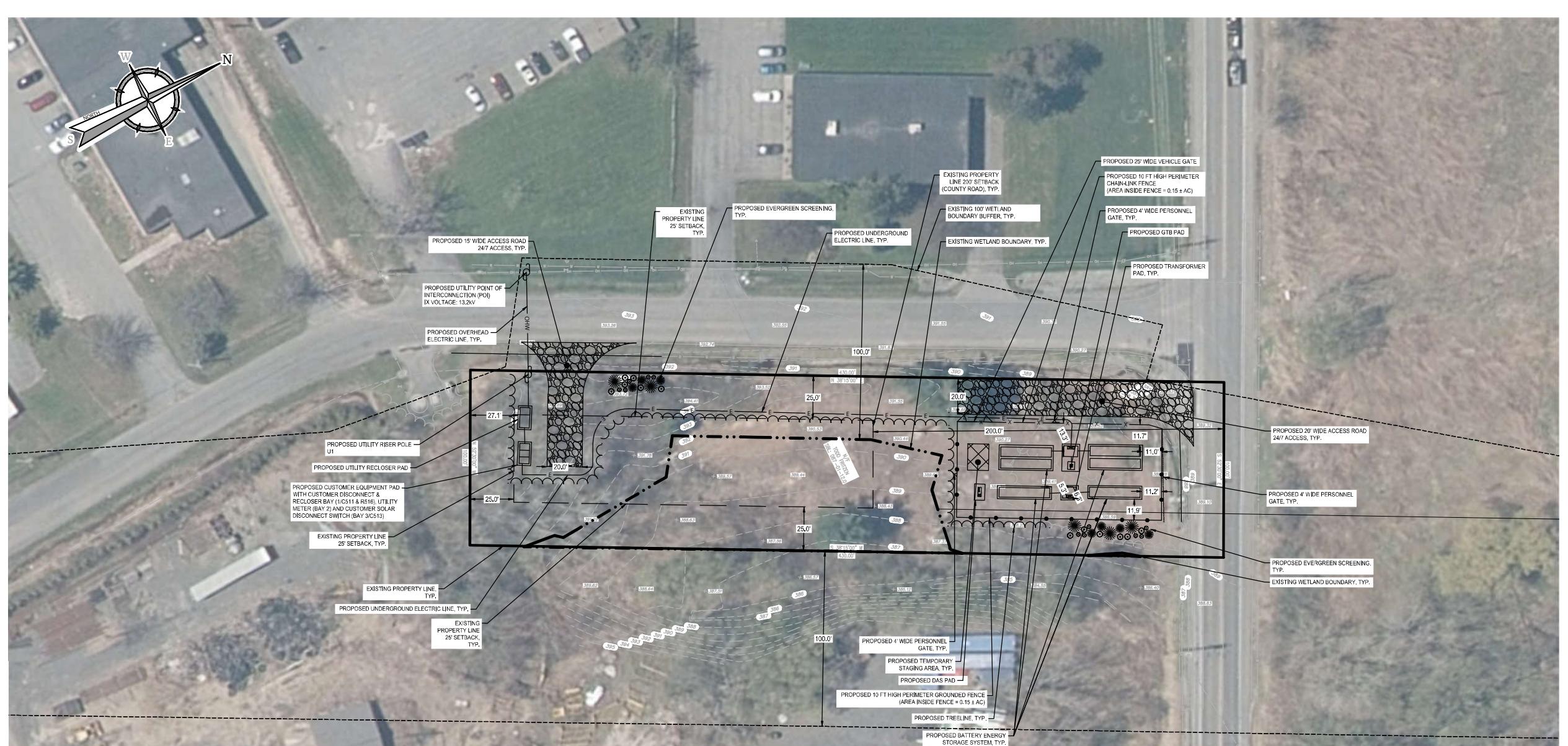
*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*



TAFT ROAD BRANCH CONCEPTUAL SITE PLAN
THE SUMMIT FEDERAL CREDIT UNION

20
0 10 20 40
SCALE: 1" = 20'

SWBR



SITE PLAN DATA TABLE WETZEL ROAD STORAGE PROJECT		
SITE IS LOCATED IN THE INDUSTRIAL 1 (I-1) ZONING DISTRICT		
PROPOSED USE: BATTERY ENERGY STORAGE SYSTEM (UTILITY SUBSTATION)		
PARCEL 087-01-12.0 TOWN OF CLAY, COUNTY OF ONONDAGA, STATE OF NEW YORK		
APPLICANT: WETZEL STORAGE, LLC. 101 SUMMER STREET, 2ND FLOOR BOSTON, MA 02110 (617) 431-1440		
OWNER(S) OF RECORD: TODD FRITZEN 40 DEWLINE ROAD LIVERPOOL, NY 13090		
PLANS PREPARED BY: COLLIERS ENGINEERING AND DESIGN (CED) 18 CORPORATE WOODS BOULEVARD, SUITE 400 ALBANY, NY 12211 (518) 862-0325		
DESCRIPTION	REQUIRED	PROPOSED
MIN. LOT SIZE	N/A	42,957 ± SF
MIN. REAR YARD SETBACK	25 FT	27 ± FT
MIN. SIDE YARD SETBACK	25 FT	11 ± FT
MIN. FRONT YARD SETBACK (COUNTRY ROADWAY)	200 FT	11 ± FT
MIN. FRONT YARD SETBACK (TOWN ROADWAY)	50 FT	11 ± FT
MIN. LOT WIDTH	N/A	430 ± FT
MAX. LOT COVERAGE*	80%	±4.3%
MAX. STRUCTURE HEIGHT	25 FT	≤25 FT

Colliers

Engineering & Design

www.colliersengineering.com
Copyright © 2025. Colliers Engineering & Design All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Colliers Engineering & Design.

Formerly Known as BERGMANN

REV DATE DESCRIPTION



WETZEL STORAGE, LLC.

PRELIMINARY DEVELOPMENT PLANS

WETZEL ROAD STORAGE PROJECT

4664 WETZEL ROAD
TOWN OF CLAY
ONONDAGA COUNTY
NEW YORK

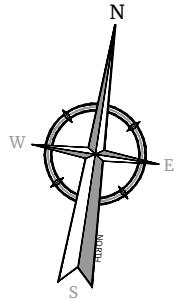
ALBANY
Colliers
18 Corporate Woods Blvd.
Suite 400
Albany, NY 12211
Phone: 518.862.0325
COLLIERS ENGINEERING & DESIGN,
ARCHITECTURE, LANDSCAPE ARCHITECTURE,
SURVEYING CT, P.C.

SCALE: DRAWN BY:
AS SHOWN JL & NS
DESIGNED BY:
REVIEWED BY:
BR
DATE ISSUED: PROJECT NUMBER:
12/12/2025 25011022A
SHEET NAME:
DRAWING NUMBER:

OVERALL SITE PLAN

5.0

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

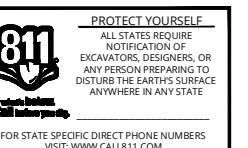


Colliers
Engineering & Design

www.colliersengineering.com
Copyright © 2025. Colliers Engineering & Design All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Colliers Engineering & Design.

Formerly Known as **BERGMANN**

REV DATE DESCRIPTION



SITE PLAN DATA TABLE		
LONG BRANCH STORAGE PROJECT		
SITE IS LOCATED IN REGIONAL COMMERCIAL (RC-1) ZONING DISTRICT		
PROPOSED USE: BATTERY ENERGY STORAGE SYSTEM (UTILITY SUBSTATION)		
PARCEL 104-02-091 TOWN OF CLAY, COUNTY OF ONONDAGA, STATE OF NEW YORK		
APPLICANT: LONG BRANCH STORAGE, LLC 101 SUMMIT STREET, 2ND FLOOR BOSTON, MA 02110 (617) 592-5648		
OWNER(S) OF RECORD: HIAWATHA PLAZA ASSOCIATES, LLC 7421 OSWEGO RD LIVERPOOL, NY 13090		
PLANS PREPARED BY: COLLIERS ENGINEERING AND DESIGN (CED) 18 CORPORATE WOODS BOULEVARD, SUITE 400 ALBANY, NY 12211 (518) 862-0325		
DESCRIPTION	REQUIRED	PROPOSED
MIN. LOT SIZE	N/A	34,062 ± 5F
MIN. SIDE YARD SETBACK	20 FT	60 ± FT
MIN. FRONT YARD SETBACK	20 FT	37 ± FT
MIN. LOT WIDTH	N/A	169 ± FT
MAX. LOT COVERAGE	100%	± 5%
MAX. STRUCTURE HEIGHT	25 FT	≤ 25 FT

EXISTING	LEGEND	PROPOSED
PROPERTY LINE	PROPERTY LINE	PROPERTY LINE
PROPERTY SETBACK LINE		
ADJOINING PROPERTY LINE		
RIGHT OF WAY LINE		
X-X	CHAIN LINK FENCE	X-X
OH-OH	OVERHEAD UTILITY WIRE	OHW
---	UNDERGROUND UTILITY WIRE	---
---	UNDERGROUND GAS LINE (APPROXIMATE LOCATION)	---
---	UNDERGROUND WATER LINE (APPROXIMATE LOCATION)	---
---	STORM PIPE	---
---75---	MAJOR CONTOUR (5' INTERVAL)	---
---74---	MINOR CONTOUR (1' INTERVAL)	---
~~~~~	EDGE OF WOODS	~~~~~
○	FOUND IRON/REBAR	○
○	FOUND MONUMENT	○
○	UTILITY POLE	○
○	GUY WIRE	○
○	CATCH BASIN	○
IV=0	WATER VALVE	IV=0

20 0 20 40  
SCALE : 1" = 20'

**ALBANY**  
18 Corporate Woods Blvd.  
Suite 400  
Albany, NY 12211  
Phone: 518.862.0325  
COLLIERS ENGINEERING & DESIGN,  
ARCHITECTURE, LANDSCAPE ARCHITECTURE,  
SURVEYING CT, P.C.

SCALE: DRAWN BY:  
AS SHOWN JL & NS  
DESIGNED BY: REVIEWED BY:  
BR  
DATE ISSUED: 12/02/2025 PROJECT NUMBER: 25011024A  
SHEET NAME: DRAWING NUMBER:

5.0

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

OVERALL SITE PLAN

Z-26-15, 16

Eric D. Gross  
and  
Nikki Smyrl Gross  
(reputed owner)  
L 5426, P 150  
087.-01-09.0  
Zoning: Industrial 1

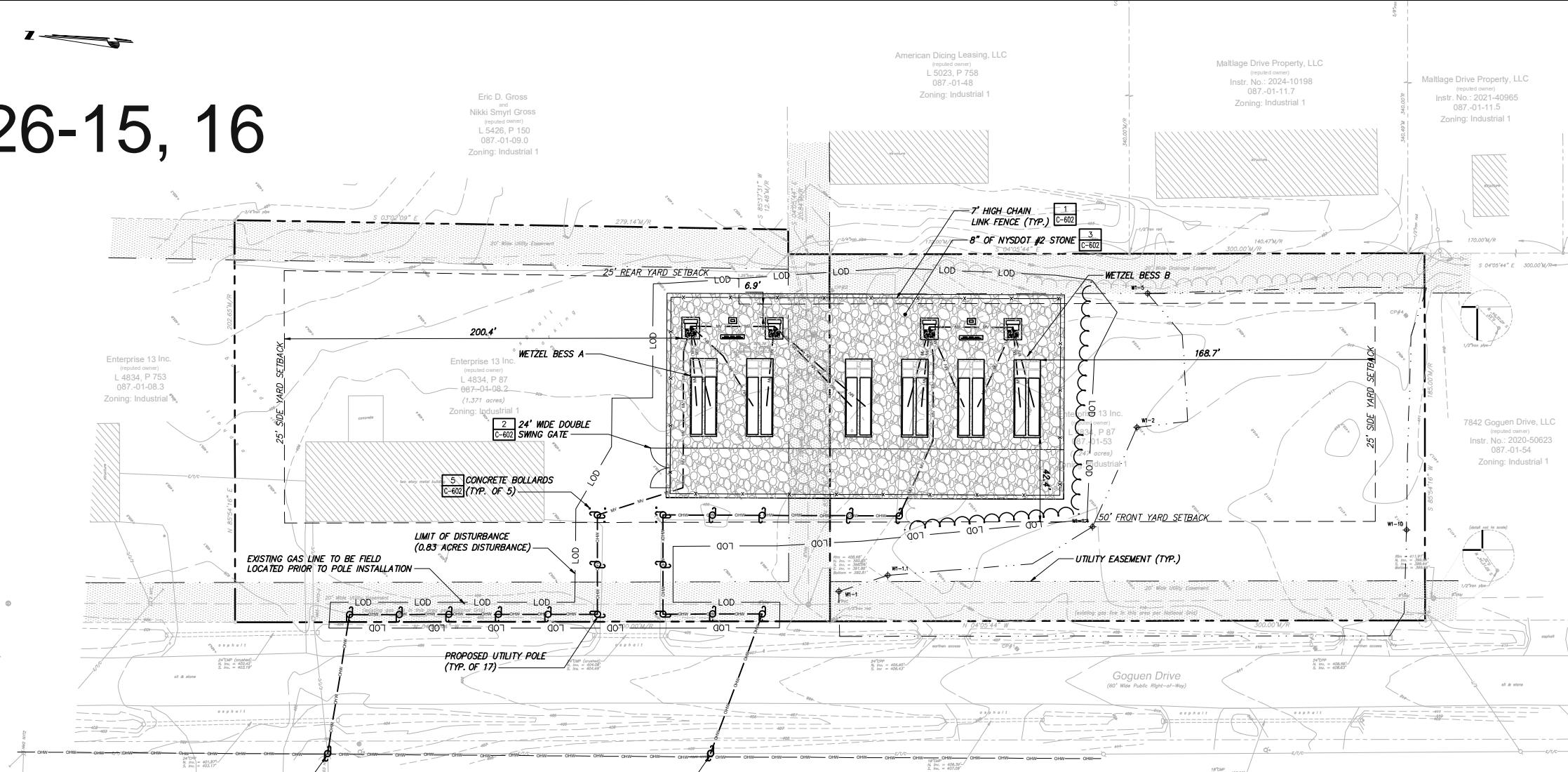
American Dicing Leasing, LLC  
(reputed owner)  
L 5023, P 758  
087.-01-48  
Zoning: Industrial 1

Malilage Drive Property, LLC  
(reputed owner)  
Instr. No.: 2024-10198  
087-01-11.7  
Zoning: Industrial 1

Malilage Drive Property, LLC  
(reputed owner)  
Instr. No.: 2021-40965  
087.-01-11.5  
Zoning: Industrial 1

The logo for CHAS (Construction Health and Safety Assessment System) features the letters 'CHAS' in a large, bold, blue, sans-serif font. The 'C' and 'H' are connected at the top, and the 'A' and 'S' are connected at the bottom, creating a continuous, flowing shape.

CarsonPower



WETZEL BESS A&B  
7846 & 7850 GOGUEN RD  
CLAY, NY 13090

No.	Submittal / Revision	Apv	By	Date

---

**DIMENSIONAL REGULATIONS**

ZONING DISTRICT: (INDUSTRIAL I-1)

ZONING DISTRICT: (INDUSTRIAL I-1)		
	REQUIRED	PROVIDED
MINIMUM LOT AREA	N/A	2,645 (AC)
MINIMUM LOT WIDTH	N/A	600 (FT)
OVERAGE, MAX BLDG	60%	4.2%
OVERAGE, MAX TOTAL	80%	46.9%
FRONT SETBACK	50 (FT)	92.4 (FT)
EAR SETBACK	25 (FT)	31.9 (FT)
IDE SETBACK(S)	25 (FT) BOTH	193.7 (FT)
MAX BUILDING HEIGHT	N/A	10 (FT)

BESS A SYSTEM INFO

BESS A SYSTEM INFO	
CAPACITY (MWh)	20.6
AC POWER RATING (MW)	5.0

---

BESS B. SYSTEM INFO

BESS B SYSTEM INFO	
CAPACITY (MWh)	20.6
AC POWER RATING (MW)	5.0

## SITE LAYOUT PLAN

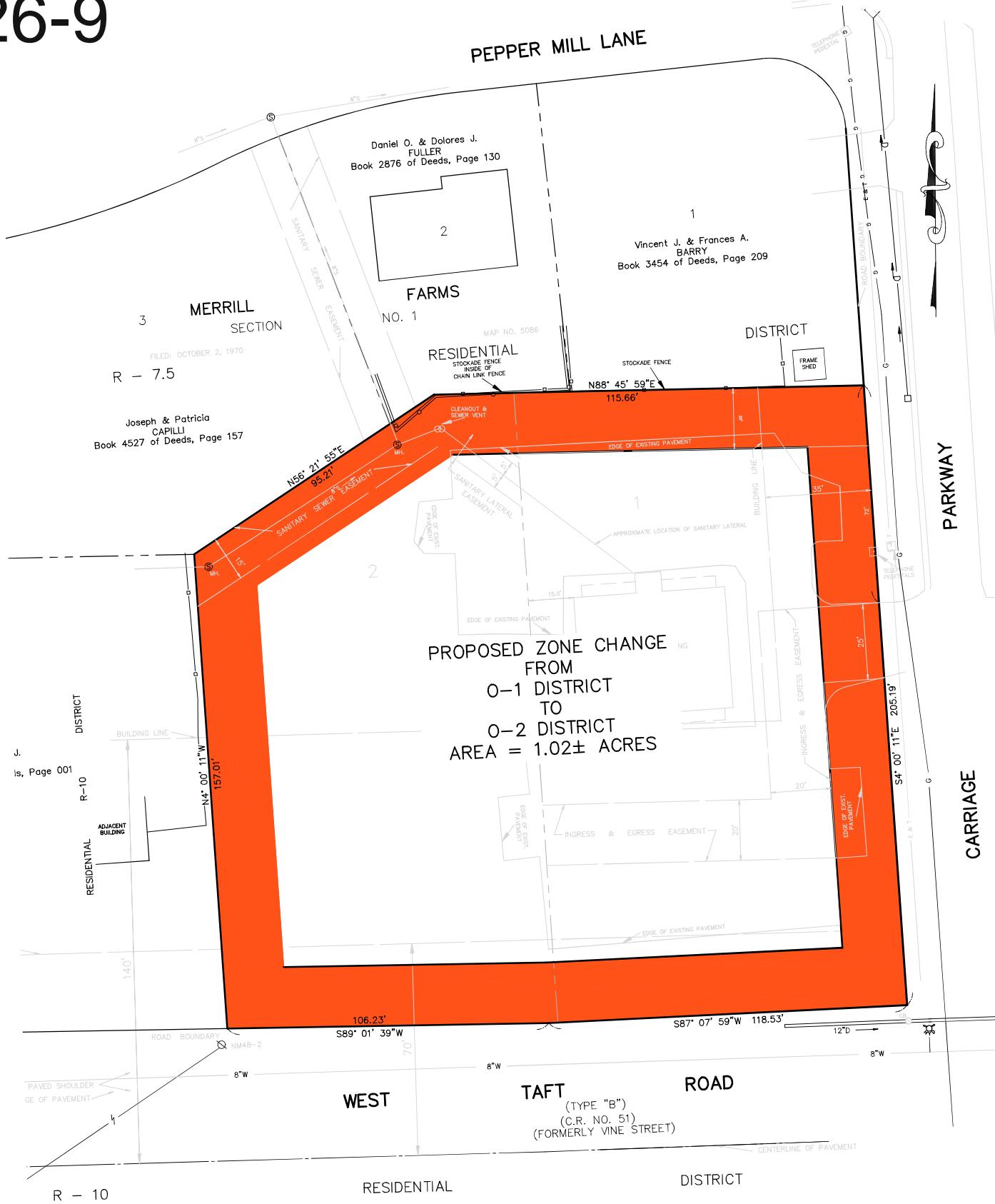
Designed By: JM	Drawn By: JO	Checked By: JR
Issue Date: 12/22/25	Project No.: 104932	Scale: AS SHOWN

Drawing No.:

**C-101**



Z-26-9

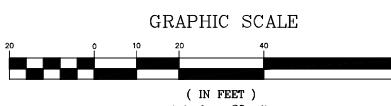


LEGEND:

LS	indicates light stand
UP	indicates utility pole, anchor & overhead lines
PP	indicates iron pipe and/or monument found
MON	indicates bollard
SG	indicates sign
SC	indicates storm culvert
GM	indicates gas main, gas valve & gas line marker
WV	indicates water main, water valve & hydrant
SB	indicates storm sewer, catch basin & manhole
SM	indicates sanitary sewer, sewer vent & manhole
TEL	indicates underground telephone line, manhole & box
UE	indicates underground electric line & manhole
CATV	indicates underground television cable & box
6"	indicates 6" diameter bollard (typical)
6"	indicates 6" diameter monitoring well (typical)
GT	indicates grease trap manhole
M	indicates manhole
BL	indicates boundary line
APL	indicates adjacent parcel line
OPL	indicates old/original parcel line
EL	indicates easement line
CLL	indicates centerline road

NOTES:

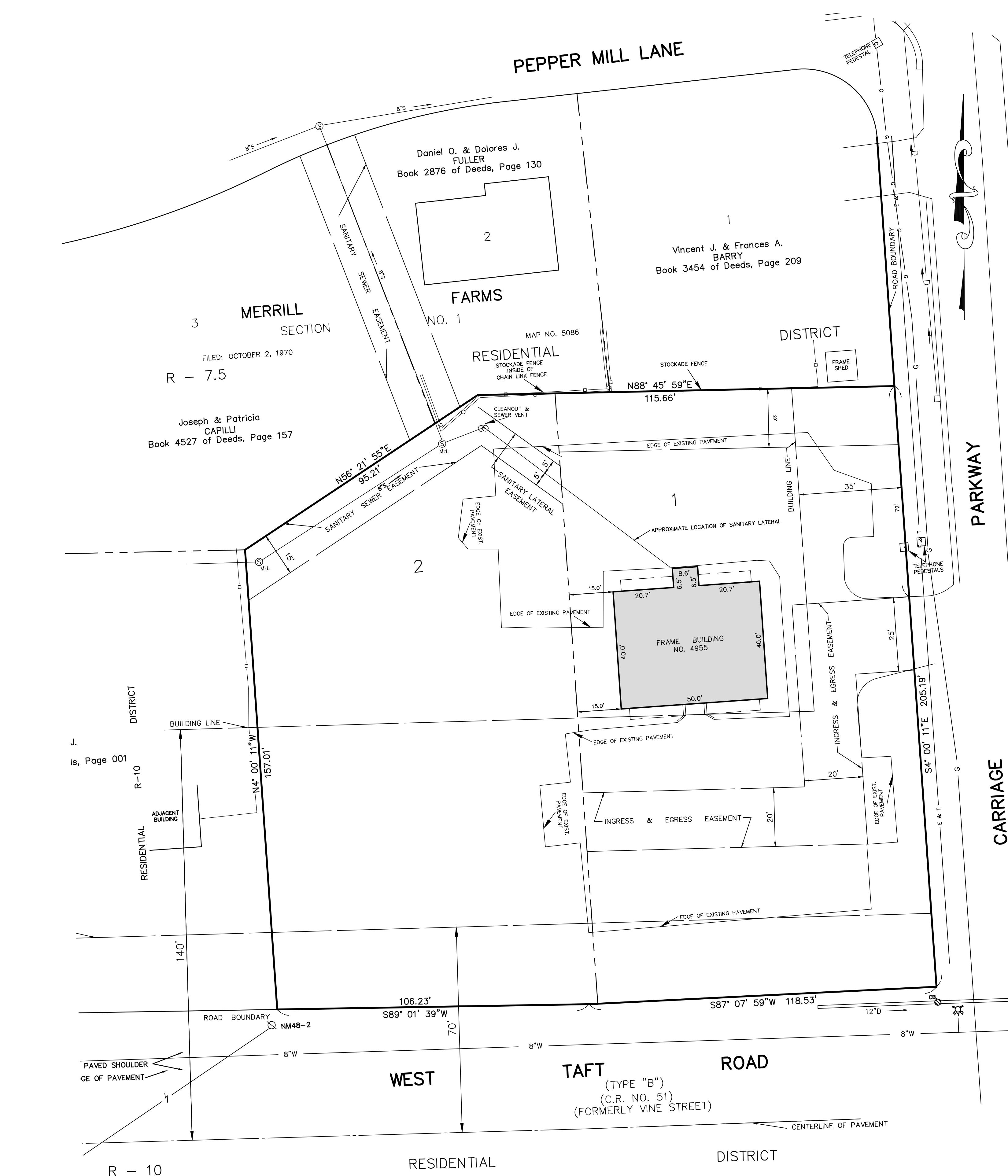
Total area: 1.02± acres.  
Present Zone: O-1 District (Existing); O-2 District (Proposed)  
All lots are for nonresidential use only  
Tax Map No. 107-14-26.1 & 27.1



Subject to any statement of facts or accurate and up to date abstract of title will show.  
Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of state law, sub-division 2, of the New York State Education Law.

REVISIONS	
12/15/2025	
PROPOSED ZONE CHANGE FROM O-1 OFFICE DISTRICT TO O-2 OFFICE DISTRICT	
TOWN OF CLAY ONONDAGA COUNTY, NEW YORK	
IANUZI & ROMANS LAND SURVEYING, P.C.	
5251 WITZ DRIVE NORTH SYRACUSE, NY 13212	
PHONE: (315) 457-7200	
FAX: (315) 457-9251	
EMAIL: mail@romanspc.com	
DATE: JUNE 24, 2005	
SCALE: 1" = 20'	
FILE No.: 980.001	
SHEET No.	
F.B. No. X	

FILED MAP INFORMATION:  
Name: Taft Road Professional Office Park  
Filed: June 14, 2005  
Map No. 10203



## LEGEND:

	LS	indicates light stand
		indicates utility pole, anchor & overhead lines
		indicates iron pipe and/or monument found
		indicates bollard
		indicates sign
	12" CSP	indicates storm culvert
	6" G	indicates gas main, gas valve & gas line marker
	8" W	indicates water main, water valve & hydrant
	18" D	indicates storm sewer, catch basin & manhole
	8" S	indicates sanitary sewer, sewer vent & manhole
	TEL	indicates underground telephone line, manhole & box
	UE	indicates underground electric line & manhole
	CATV	indicates underground television cable & box
	①	indicates 6" diameter bollard (typical)
	②	indicates 6" diameter monitoring well (typical)
	③	indicates grease trap manhole
	④	indicates manhole
		indicates boundary line
		indicates adjacent parcel line
		indicates old/original parcel line
		indicates easement line
		indicates centerline road

## NOTES:

total area: 1.02± acres.  
present Zone: O-1 District (Existing); O-2 District (Proposed)  
All lots are for nonresidential use only  
Ex Map No. 107-14-26 1 & 27 1

Subject to any statement of facts an accurate and up to date abstract of title will show.

**FILED MAP INFORMATION:**

Name: Taft Road Professional Office Park  
Filed: June 14, 2005  
Map No. 10203

Land Projects\980001\dwg\LOTS 1-2 TAFT ROAD OFFICE.dwg Education Law

# RAFT ROAD PROFESSIONAL OFFICE PARK

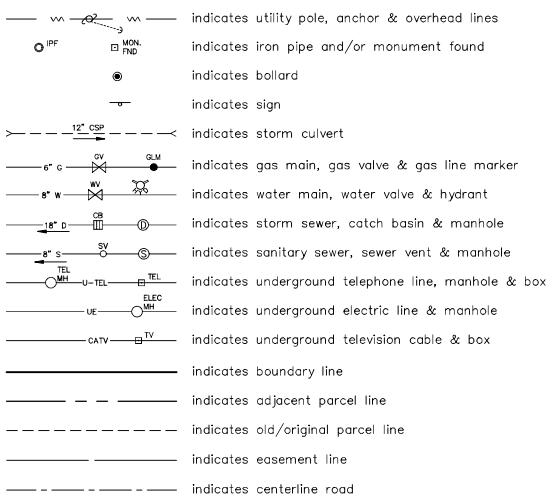
TOWN OF CLAY  
ONDAGA COUNTY NEW YORK



REVISIONS		LOT Nos. 1 & 2	
		TAFT ROAD PROFESSIONAL OFFICE PARK	
		TOWN OF CLAY ONONDAGA COUNTY, NEW YORK	
 <b>IANUZI &amp; ROMANS LAND SURVEYING, P.C.</b> 5251 WITZ DRIVE NORTH SYRACUSE, NY 13212 PHONE: (315) 457-7200 FAX: (315) 457-9251 EMAIL: <a href="mailto:mail@romanspc.com">mail@romanspc.com</a>		DATE: JUNE 24, 2005  SCALE: 1" = 20'  FILE No.: 980.001	
		SHEET No.  F.B. No. X	

Z-26-14a

**LEGEND:**



## PROPOSED GENERAL COMMERCIAL DISTRICT AREA, YARD AND BULK REGULATIONS

Per Code

Minimum Building Line (feet) = 100  
Minimum Lot Depth (feet) = 200  
Minimum Front Yard Setback (feet)  
Minimum Rear Yard Setback (feet) =  
Minimum Side Yard Setback (feet) =  
Maximum Building Coverage = 40%  
Maximum Building Height (feet) = 60

GRAPHIC SCALE

30      0      15      30      60

( IN FEET )

1 inch = 30 ft.

LOT No. 1  
NORTHERN PINE MEADOWS  
SUBDIVISION*  
FILED: JANUARY 19, 2010  
MAP NO. 11148  
AGRICULTURAL DISTRICT

(N83° 28' 30" W DEED)  
S86° 19' 20" W MEAS. 249.60'

124.80' 124.80'

414.34  
RP. 0.20

ZONE CHANGE  
FROM  
AGRICULTURAL DISTRICT  
TO  
GENERAL COMMERCIAL DISTRICT

AREA =  $1.993 \pm$  ACRES  
(86,824  $\pm$  SQ.FT.)

LAND & LUANN BURKE  
(REPUTED OWNER)  
BOOK 5000, PAGE 797  
MAP No. 61.-01-15.1

ROLAND & LUANN BURKE  
(REPUTED OWNER)  
BOOK 4816, PAGE 397  
TAX MAP No. 61.-01-15.2

(351.38' DEED)  
351.25' MEAS.  
S4° 08' 40" E DE  
(S86° 03' 30" W DEED)

(10.42' D.) (114.73' DEED)  
114.62' MEAS.

341.58'

WESTERLY LINE OF LANDS CONNECTED  
NORMAN M. & ANN M. SUDWICK, FORMERLY  
NORMAN M. SUDWICK, OWNER, 1945

NEW YORK STATE ROUTE No. 31

## NOTES:

Total area: 1.993± acres.  
Total number of lots: Two (2)  
Present Zone: Agricultural District  
Proposed Zone: General Commercial District  
Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only. Utility information shown is limited to visible utility hardware and possible utility markouts at the surface and may not include items such as subsurface piping, utility lines, etc. Before any excavation is to begin, underground utilities should be verified by the proper utility companies. Ianzu! & Romans Land Surveying, P.C. does not guarantee the utilities shown comprise such utilities in the area either in service or abandoned.  
The premises shown hereon is within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain,) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 36067C0116F, Effective date: November 4, 2016.  
Tax Map Nos. 61-01-151.1 15.2

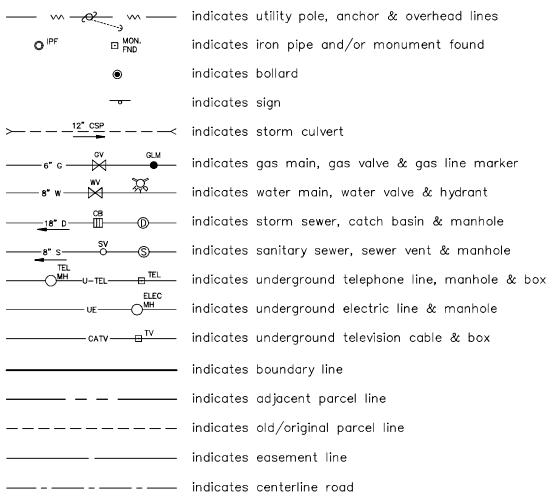


## LOCATION PLAN

REVISIONS	<p style="text-align: center;">ZONE CHANGE FROM <b>AGRICULTURAL DISTRICT</b> TO <b>GENERAL COMMERCIAL DISTRICT</b> <b>PART OF LOT No. 57</b> TOWN OF CICERO ONONDAGA COUNTY, NEW YORK</p>	
 <b>IANUZI &amp; ROMANS LAND SURVEYING, P.C.</b> 5251 WITZ DRIVE NORTH SYRACUSE, NY 13212 PHONE: (315) 457-7200 FAX: (315) 457-9251		DATE: OCTOBER 21, 2025 SHEET No. SCALE: 1" = 30' FILE No.: 11757.004 F.D. No.

# Z-26-14b

## LEGEND:



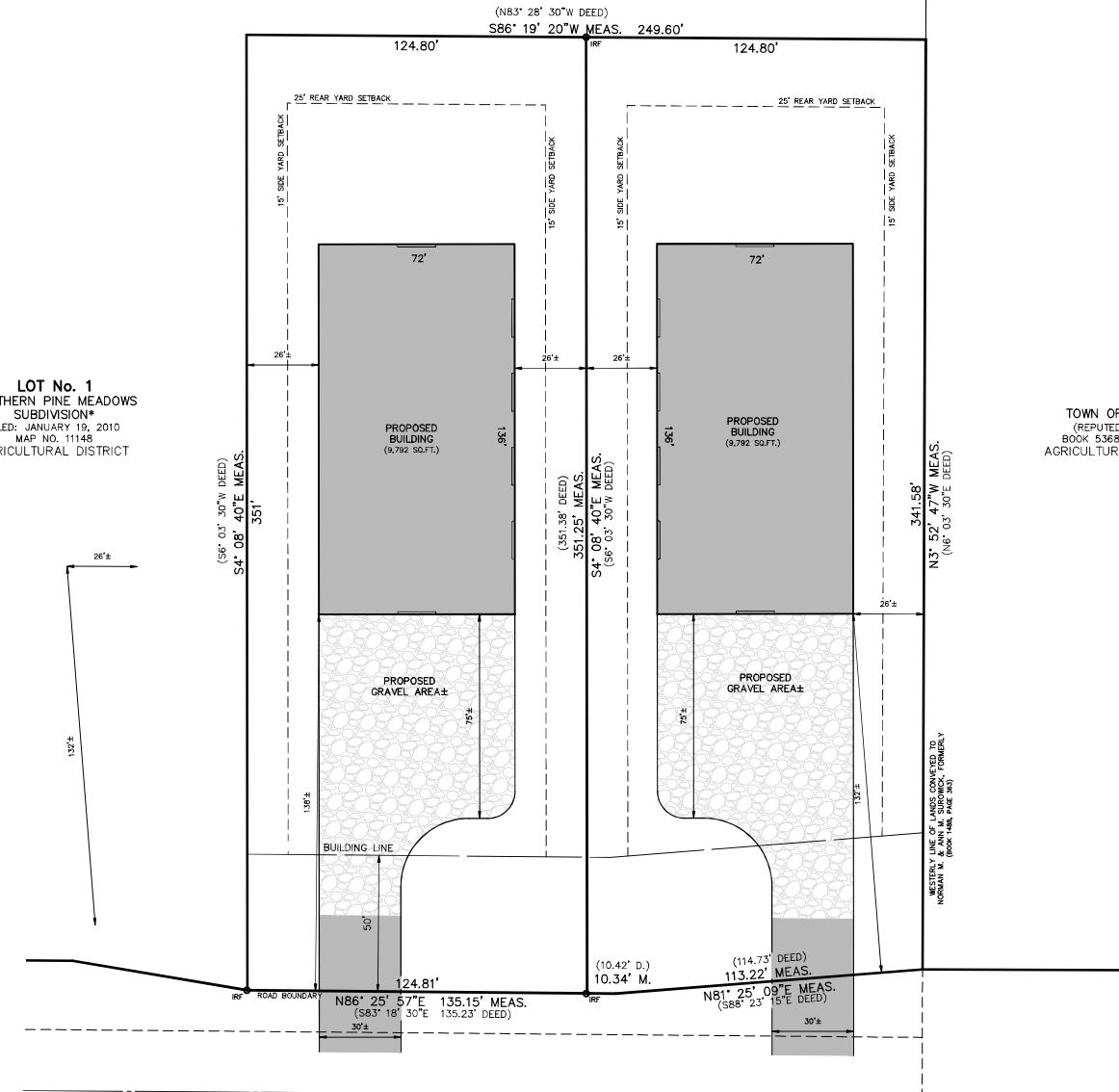
## PROPOSED GENERAL COMMERCIAL DISTRICT AREA, YARD AND BULK REGULATIONS

Per Code

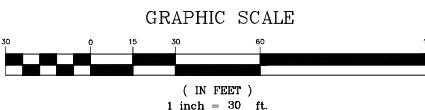
Minimum Building Line (feet) = 100  
 Minimum Lot Depth (feet) = 200  
 Minimum Front Yard Setback (feet) = 50  
 Minimum Rear Yard Setback (feet) = 25  
 Minimum Side Yard Setback (feet) = 15  
 Maximum Building Coverage = 40%  
 Maximum Building Height (feet) = 60

**LOT No. 1**  
 NORTHERN PINE MEADOWS  
 SUBDIVISION*  
 FILED: JANUARY 19, 2010  
 MAP NO. 11148  
 AGRICULTURAL DISTRICT

**LOT No. 1**  
 NORTHERN PINE MEADOWS  
 SUBDIVISION*  
 FILED: JANUARY 19, 2010  
 MAP NO. 11148  
 AGRICULTURAL DISTRICT



NEW YORK STATE ROUTE No. 31



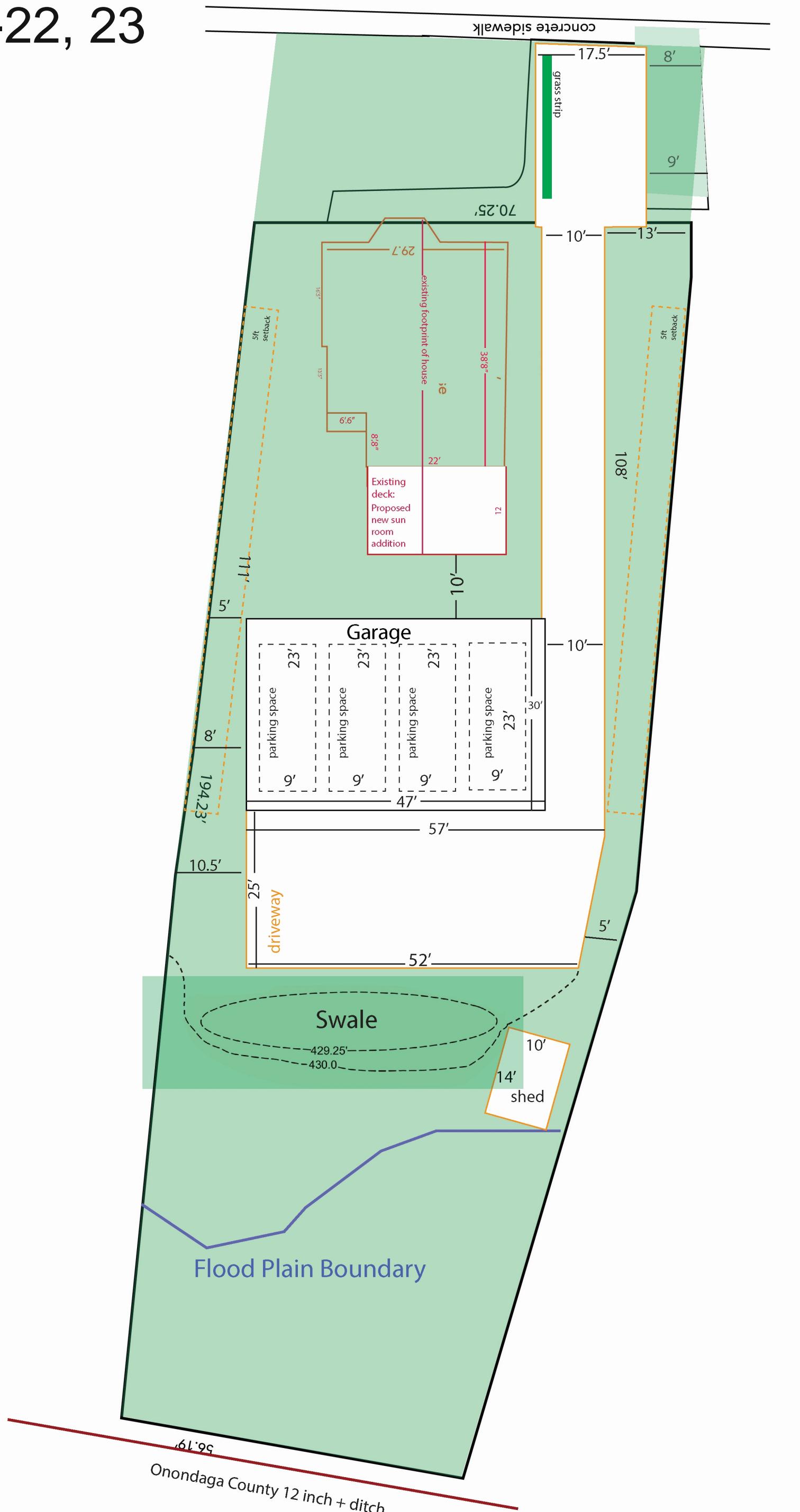
REVISIONS		SKETCH PLAN	
		6668 & 6674 N.Y.S. ROUTE No. 31	
		PART OF LOT No. 57 TOWN OF CICERO ONONDAGA COUNTY, NEW YORK	
		IANUZI & ROMANS LAND SURVEYING, P.C.	
		DATE: NOVEMBER 17, 2025	SHEET NO.
		5251 WITZ DRIVE NORTH SYRACUSE, NY 13212 PHONE: (315) 457-7200 FAX: (315) 457-9251 EMAIL: mail@romanspc.com	SCALE: 1" = 30'
			FILE No.: 11757.004
			F.B. No.



**NOTES:**  
 Total area: 1.993± acres.  
 Total number of lots: Two (2).  
 Present Zone: Agricultural District.  
 Proposed Zone: General Commercial District.  
 Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only. Utility information shown is limited to visible utility hardware and possible utility markouts at the surface and may not include items such as subsurface piping, utility lines, etc. Before any excavation is to begin, underground utilities should be verified by the proper utility companies. Ianuzi & Romans Land Surveying, P.C. does not guarantee the utilities shown comprise such utilities in the area either in service or abandoned.  
 The premises shown herein is within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain,) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 36067C0116F, Effective date: November 4, 2016.  
 Tax Map Nos. 61-01-15.1 & 15.2

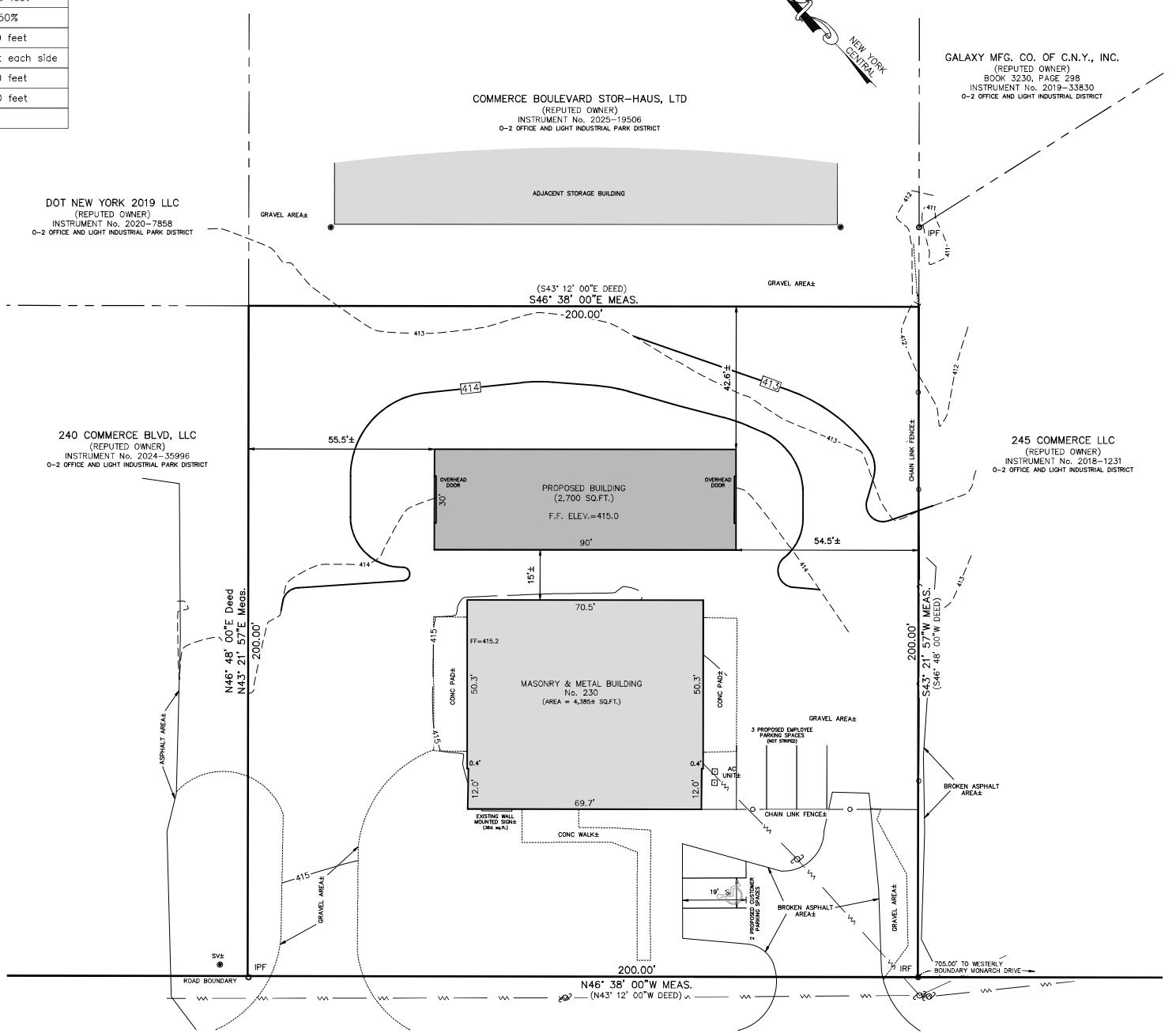
Z-26-22, 23

■ = 1 square foot



Z-26-20

BULK REGULATIONS	
PRESENT ZONE:	GENERAL COMMERCIAL
Minimum Lot Area	20,000 sq.ft.
Minimum Lot Width	100 feet
Maximum Lot Coverage	50%
Minimum Front Yard Setback	50 feet
Minimum Side Yard Setback	20 feet each side
Minimum Rear Yard Setback	20 feet
Maximum Height of Structures	30 feet



# COMMERCIAL BOULEVARD

**STATEMENT OF USE:**

This site serves as an office for the adjoining Stor-Haus self storage facility. The existing 4,385 sq.ft. building is used for a business office, work shop and for storage of equipment used for the upkeep of the properties.

storage of equipment used for the upkeep of the properties. Applicant is seeking site plan approval to construct a 2,700 sq.ft. cold storage building that will be used to store the equipment currently stored in the existing building. This will free up space in the existing building and allow the workshop to be used as a workshop without having to move equipment around.

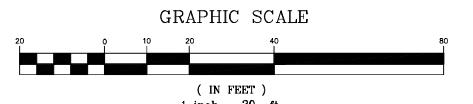
- Office Hours of Operation:  
Mon. - Fri.: 7am - 3pm

- Total number of Employees on site at any given time: 2

– Total number of Customers that visit the office: Max of 2 per day

### SITE PLAN NOTES:

- No new proposed utilities.
- No proposed changes in water usage.
- No changes to existing use.
- Proposed building will be gray with black trim and roof.
- Existing building will be painted to match.
- No new site lighting proposed.
- No new signage proposed.



A map showing the location of the SITE. The SITE is marked with a diamond symbol at the intersection of Commerce Blvd and Mcneath Dr. The New York Thruway is shown as a green line running diagonally across the map, with the Bronx-Whitestone Bridge (BWB) labeled. Other nearby streets include Morris St, 8th St, 7th St, and 5th St. The map also shows the Bronx River and the Bronx-Whitestone Bridge (BWB).

## LOCATION PLAN

## NOTES:

Total area: 0.92± acres.  
Total number of lots: 1  
Present Zone: O-2 Office and Light Industrial Park District  
Elevations referred to NAVD 88.  
Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only. Utility information shown is limited to visible utility hardware and possible utility markouts at the surface and may not include items such as subsurface piping, utility lines, etc. Before any excavation is to begin, underground utilities should be verified by the proper utility companies. Januzi & Romans Land Surveying, P.C. does not guarantee the utilities shown comprise such utilities in the area either in service or abandoned.  
The premises shown hereon is within Zone "X" (Areas determined to be below the 0.2% annual chance floodplain) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 360591202F, Effective date: November 4, 2016.  
Tax Map No. 26.-02-24

## LEGEND:

	indicates original grade
 LS	indicates proposed finished grade
	indicates light stand
	indicates utility pole, anchor & overhead lines
 MON. FND	indicates iron pipe and/or monument found
	indicates bollard
	indicates sign
	indicates storm culvert
	indicates gas main, gas valve & gas line marker
	indicates water main, water valve & hydrant
	indicates storm sewer, catch basin & manhole
	indicates sanitary sewer, sewer vent & manhole
	indicates underground telephone line, manhole & box
	indicates underground electric line & manhole
	indicates underground television cable & box
	indicates boundary line
	indicates adjacent parcel line
	indicates old/original parcel line
	indicates easement line
	indicates existing road

Subject to any statement of facts an accurate and up to date abstract of title will show.

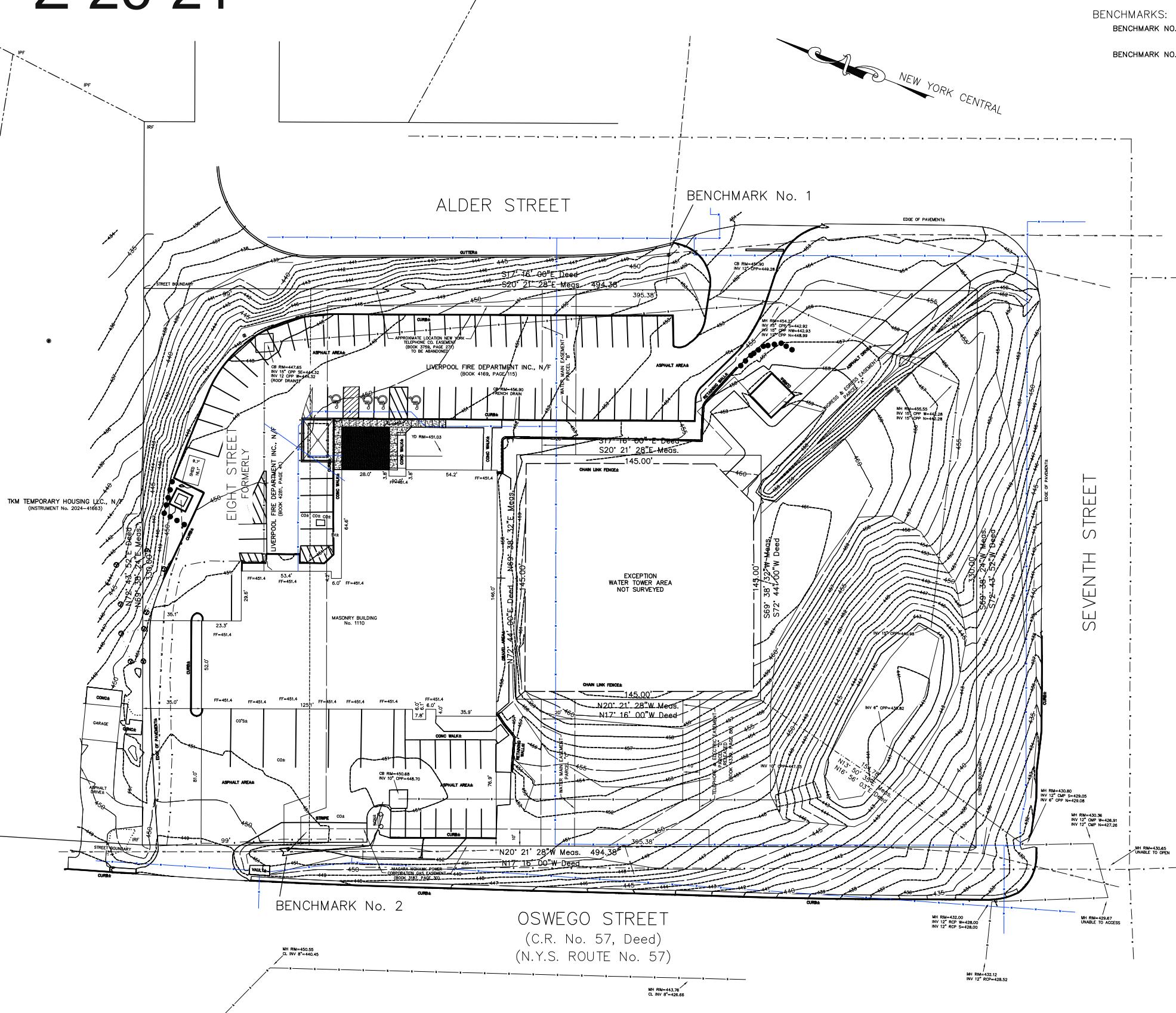
#### SITE PLAN PROPOSED FEATURES

#### THE YEAR PROPOSED FEATURES

PART OF LOT No. 1  
TOWN OF SALINA  
ONONDAGA COUNTY, NEW YORK



Z-26-21



BENCHMARKS:

BENCHMARK NO. 1 - MAG NAIL SET ON WEST SIDE OF UTILITY POLE NM 18 BA 18 ELEV= 451.08  
BENCHMARK NO. 2 - CHISELED BOX ON SOUTHWEST SIDE OF LAMP POST BASE ELEV= 450.96

NOTES:

Total area: 3.26± acres.  
Present Zone: OL Open Land District  
Elevations referred to NAVD 88.  
Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only. Utility information shown is limited to visible utility hardware and possible utility markouts at the surface and may not include items such as subsurface piping, utility lines, etc. Before any excavation is to begin, underground utilities should be verified by the proper utility companies. Ionizi & Romans Land Surveying, P.C. does not guarantee the utilities shown comprise such utilities in the area either in service or abandoned.  
The premises shown hereon is within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 360582 202 F, Effective date: November 4, 2016.  
Tax Map No. 7-04-1,2

LEGEND:

- COOPERS  
THE ARCHITECT OR ENGINEER OF THIS DOCUMENT  
AND SHALL RETAIN ALL COMMON LAW  
STATUTORY AND OTHER RESERVED  
RIGHTS, INCLUDING THE COOPERS.  
DRAWING ALTERATION  
IT IS A VIOLATION OF LAW FOR ANY  
PERSON, UNLESS ACTING UNDER THE  
DIRECTION OF THE ARCHITECT TO  
ALTER THIS DRAWING.  
NO. 17743  
REGISTERED ARCHITECT  
PROFESSIONAL J. SEIGERT  
STATE OF NEW YORK
- 412 indicates original grade
- LS indicates light stand
- MON. FND indicates utility pole, anchor & overhead lines
- FF indicates iron pipe and/or monument found
- SHRUB indicates shrub
- ET indicates evergreen tree
- DT indicates deciduous tree
- BOLLARD indicates bollard
- SIGN indicates sign
- 12" CSP indicates storm culvert
- 6" G indicates gas main, gas valve & gas line marker
- 8" W indicates water main, water valve & hydrant
- 18" D indicates storm sewer, catch basin & manhole
- 8" S indicates sanitary sewer, sewer vent & manhole
- TEL indicates underground telephone line, manhole & box
- ELEC indicates underground electric line & manhole
- CATV indicates underground television cable & box
- SWALL indicates stone wall
- BLDNG indicates boundary line
- PARCEL indicates adjacent parcel line
- OLD/PARCEL indicates old/original parcel line
- EASEMENT indicates easement line
- CENTRERL indicates centerline road

OL OPEN LAND DISTRICT

	REQUIRED	EXISTING	PROPOSED
AREA		3.26 ACRES	3.26 ACRES
FRONT SETBACK		76.9 FEET	76.9 FEET
SIDE SETBACK		35.0 & 284.6 FEET	35.0 & 284.6 FEET
REAR SETBACK		107.16 FEET	82.17 FEET
LOT WIDTH		578 FEET +/-	578 FEET +/-
BUILDING COVERAGE		13.58 %	14.07 %
MAXIMUM DEVELOPED COVERAGE		46.08 %	46.58 %
BUILDING HEIGHT EXISTING		23'-0" FEET	23'-0" FEET
BUILDING HEIGHT ADDITION		15'-0" FEET	

BUILDING & IMPERVIOUS SURFACES

ELEMENT	SQ. FT.	EXISTING COVERAGE	SQ. FT.	PROPOSED COVERAGE
EXISTING FIRE STATION	19,278		19,278	
PROPOSED ADDITION			700	
BUILDING SUB-TOTAL	19,278	13.58 %	19,978	14.07 %
EXISTING PAVEMENT	46,162	32.50 %	46,162	32.50 %
TOTAL BUILDING & SURFACES	65,440	46.08 %	66,140	46.58 %

Schopfer Architects LLP  
315-474-1922  
FAX 315-474-6501

1111 JAMES ST.  
SYRACUSE, NY 13203

Drawn by: MPP  
Checked by: RJS  
Date: 01-09-2026  
Scale: AS NOTED

Revisions:

Number: Date: By:  
△ △ △ △

Sheet Title: OVERALL SITE PLAN

Sheet No: L1.1

Job No: 2514-A

APPROVED: TOWN OF XXXXX PLANNING BOARD

DATE: _____ BY: _____ Chairman

APPROVED: XXXXXXXX

DATE: _____ BY: _____

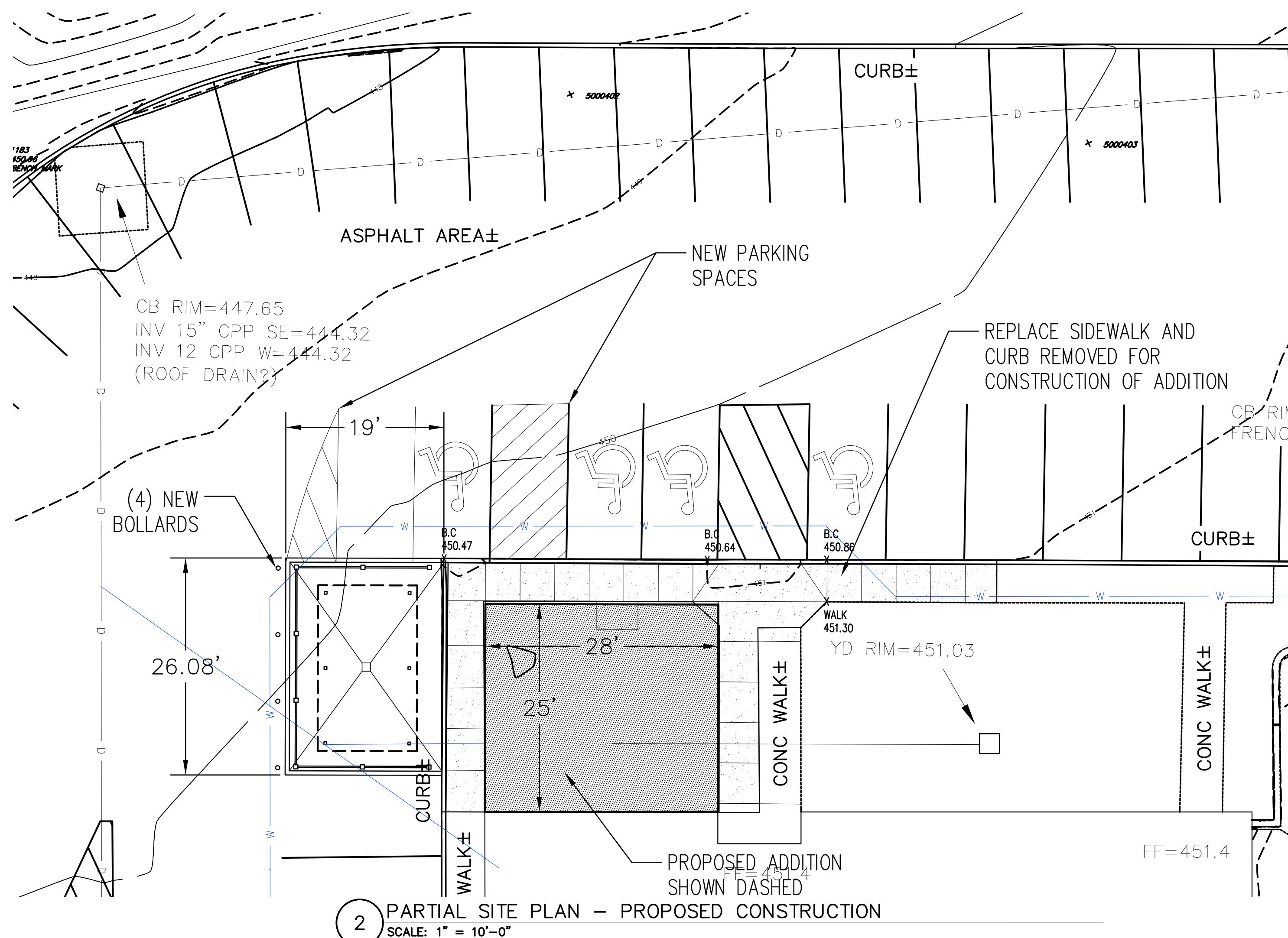
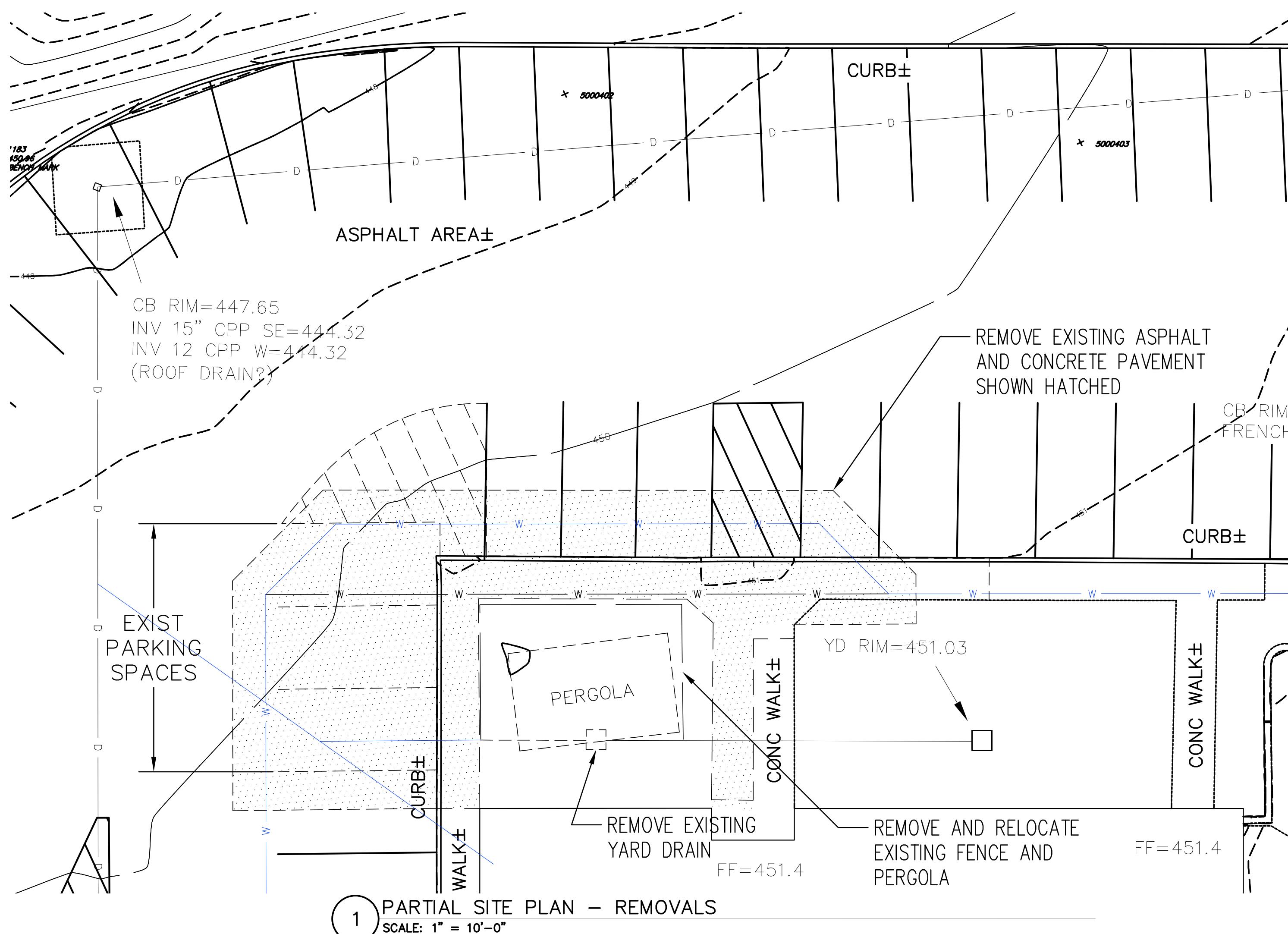
Owner & Developer

OWNER  
NAME  
ADDRESS  
CITY  
TEL

DEVELOPER  
NAME  
ADDRESS  
CITY  
TEL

LIVERPOOL FIRE DEPARTMENT  
STATION # 1 - ADDITION

1110 OSWEGO STREET  
LIVERPOOL, NEW YORK 13088



# LIVERPOOL FIRE DEPARTMENT STATION #1 - ADDITION

1110 OSWEGO STREET  
LIVERPOOL, NEW YORK 13088

FAX 315-474-1922  
315-474-1922

111 JAMES ST.  
SYRACUSE, NY 13203

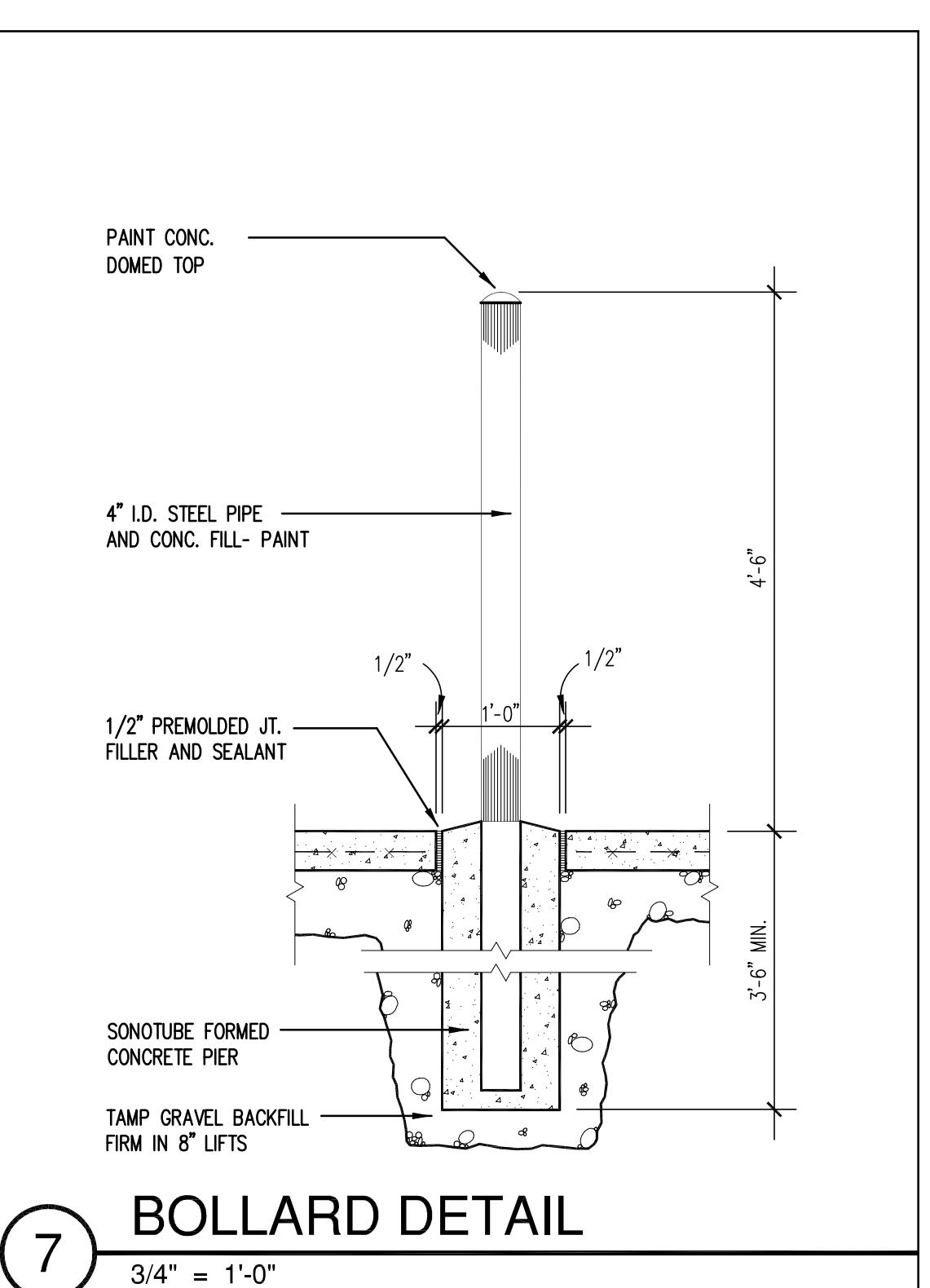
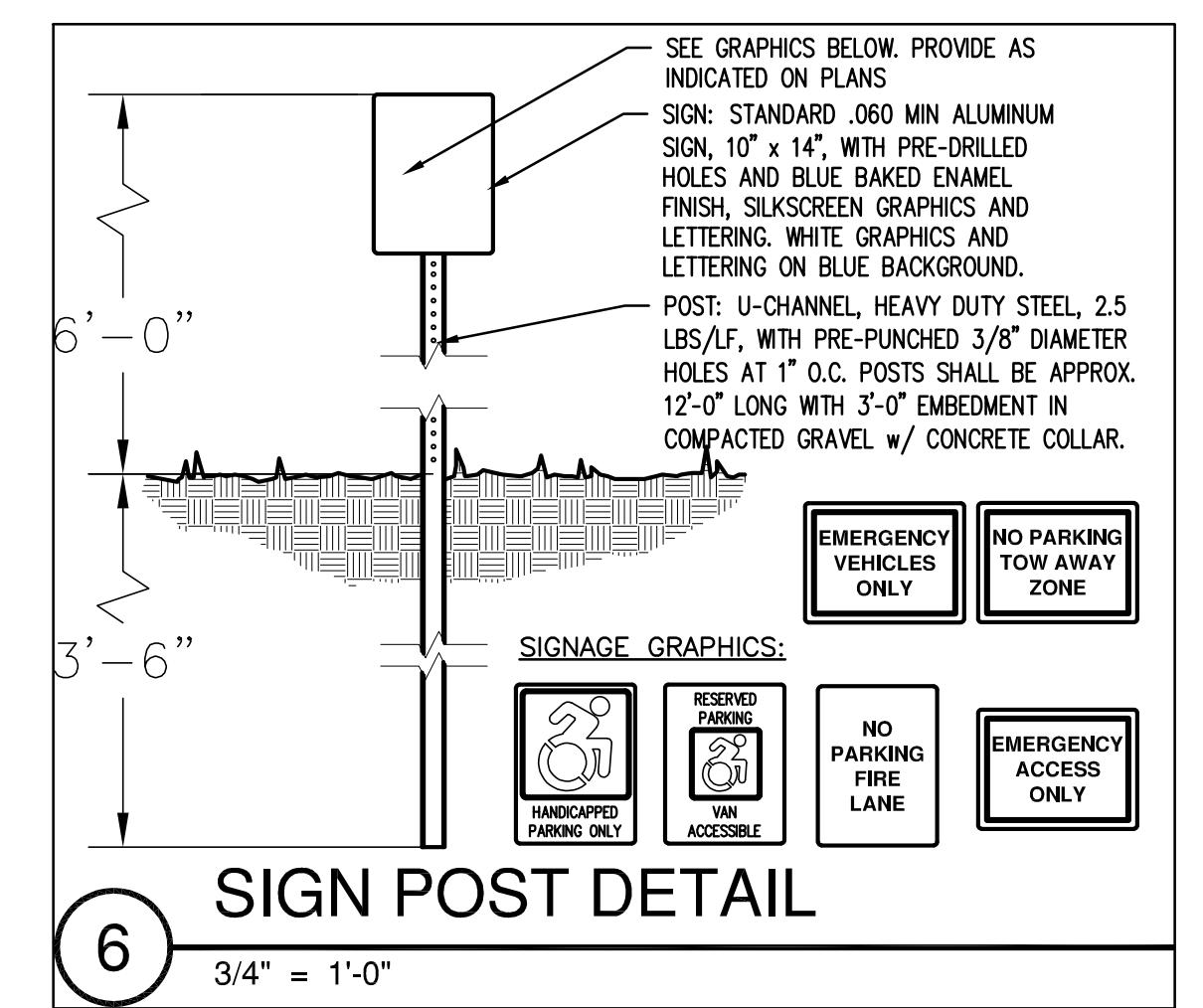
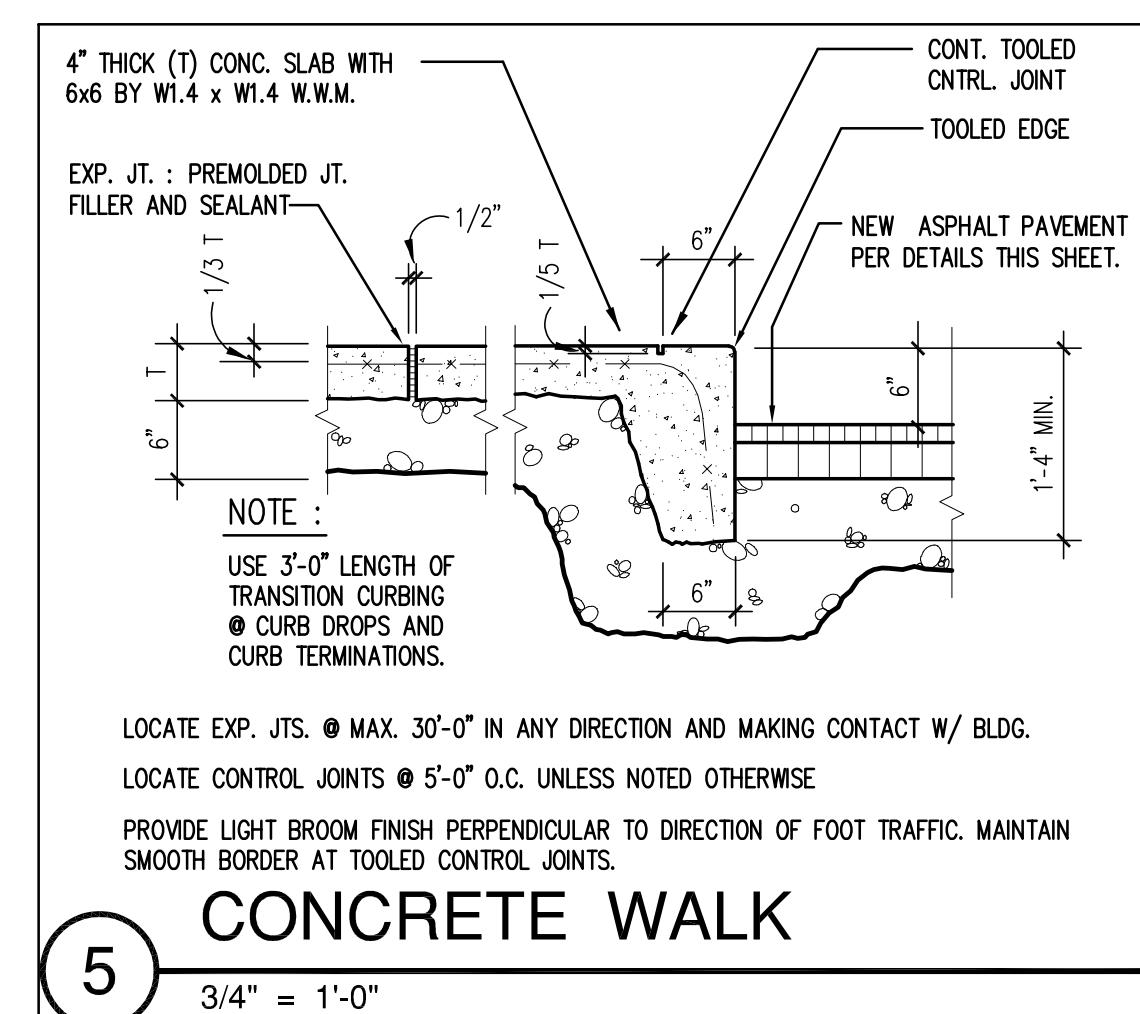
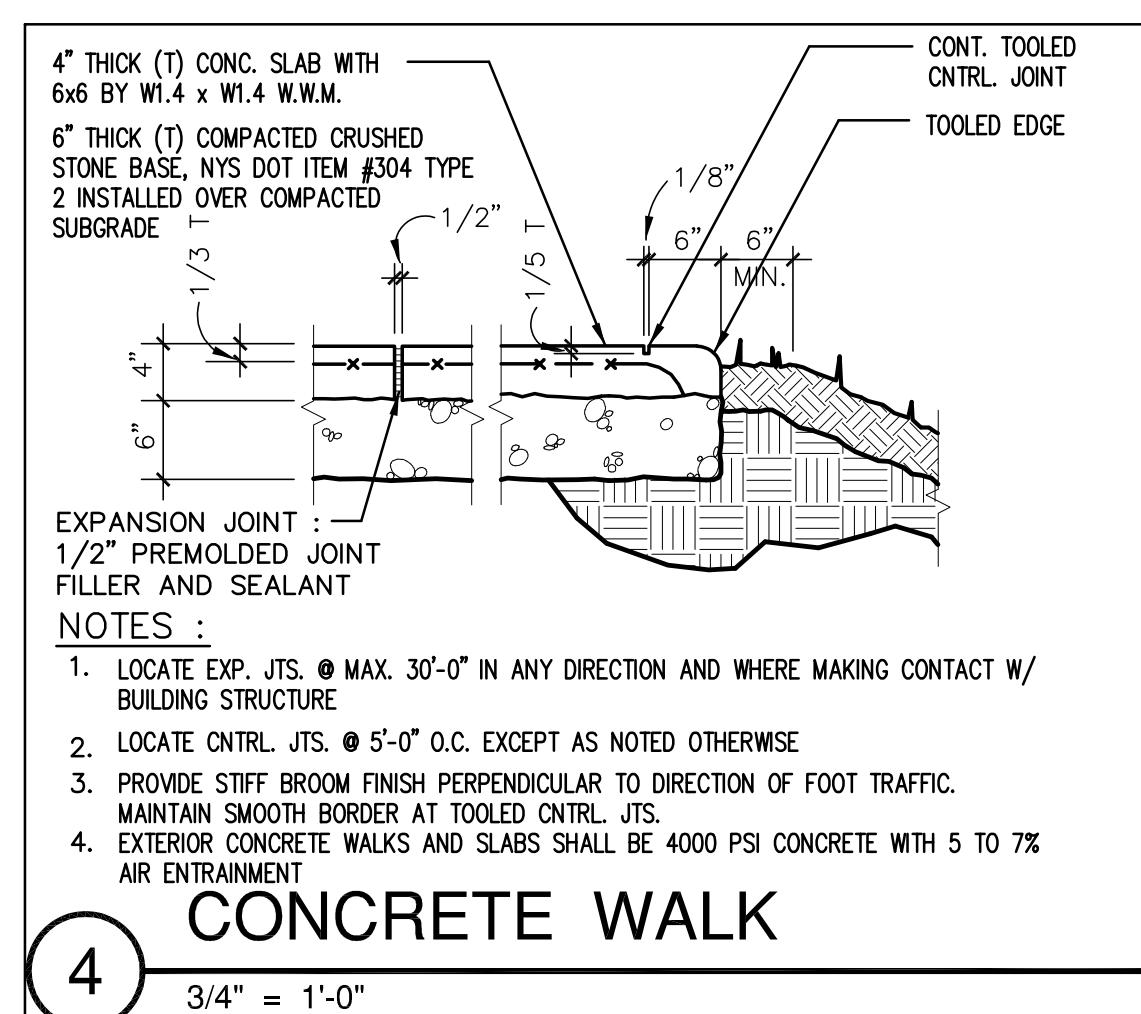
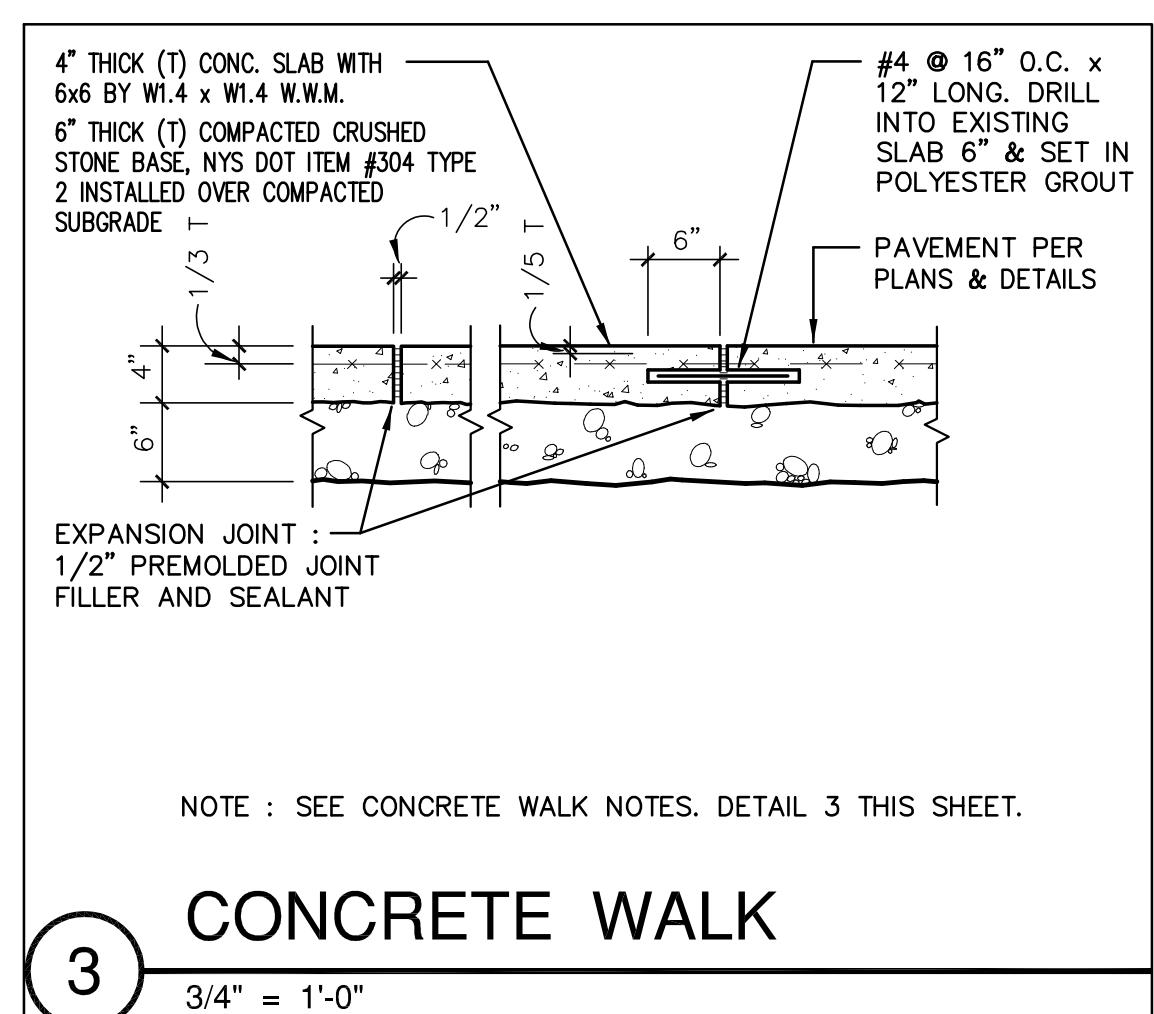
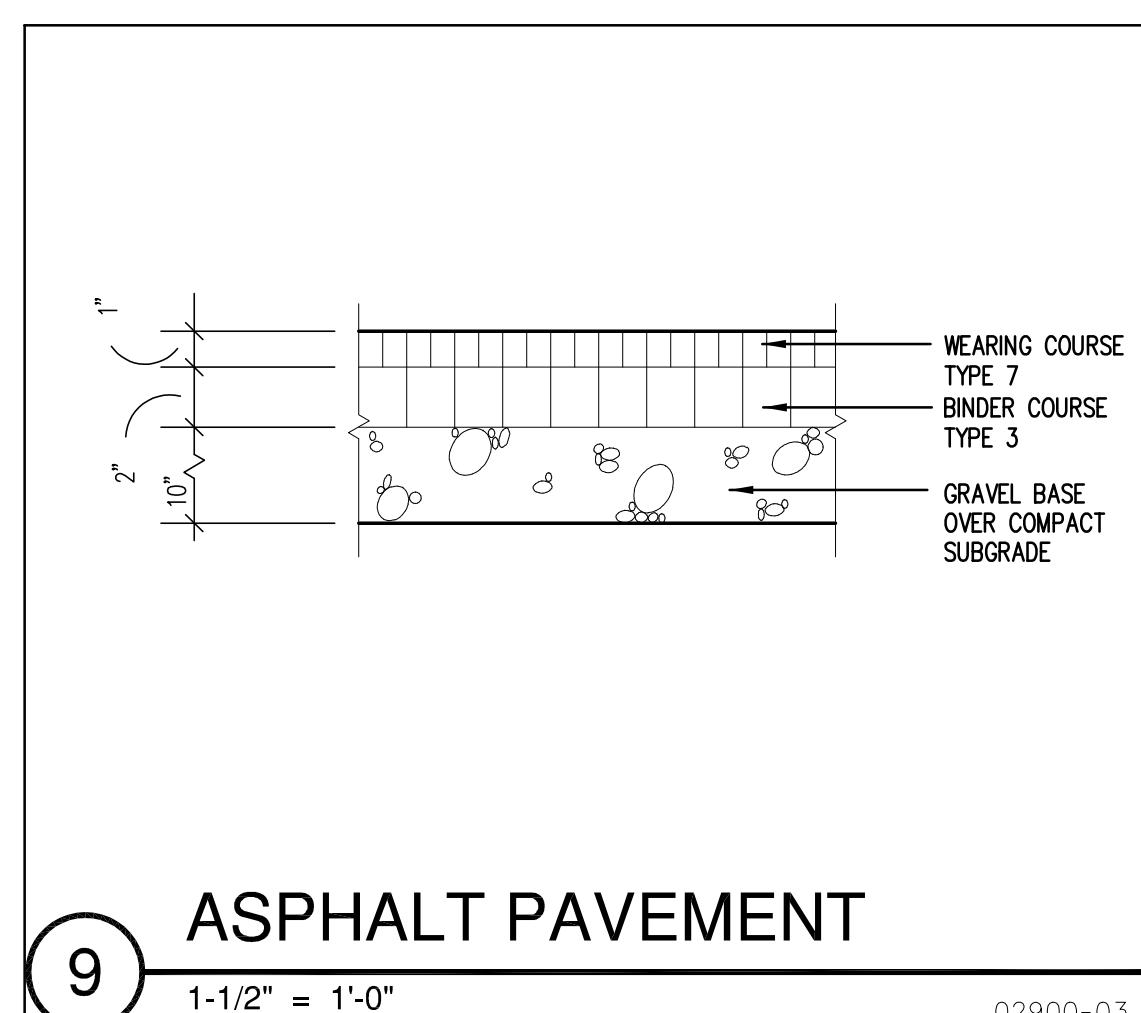
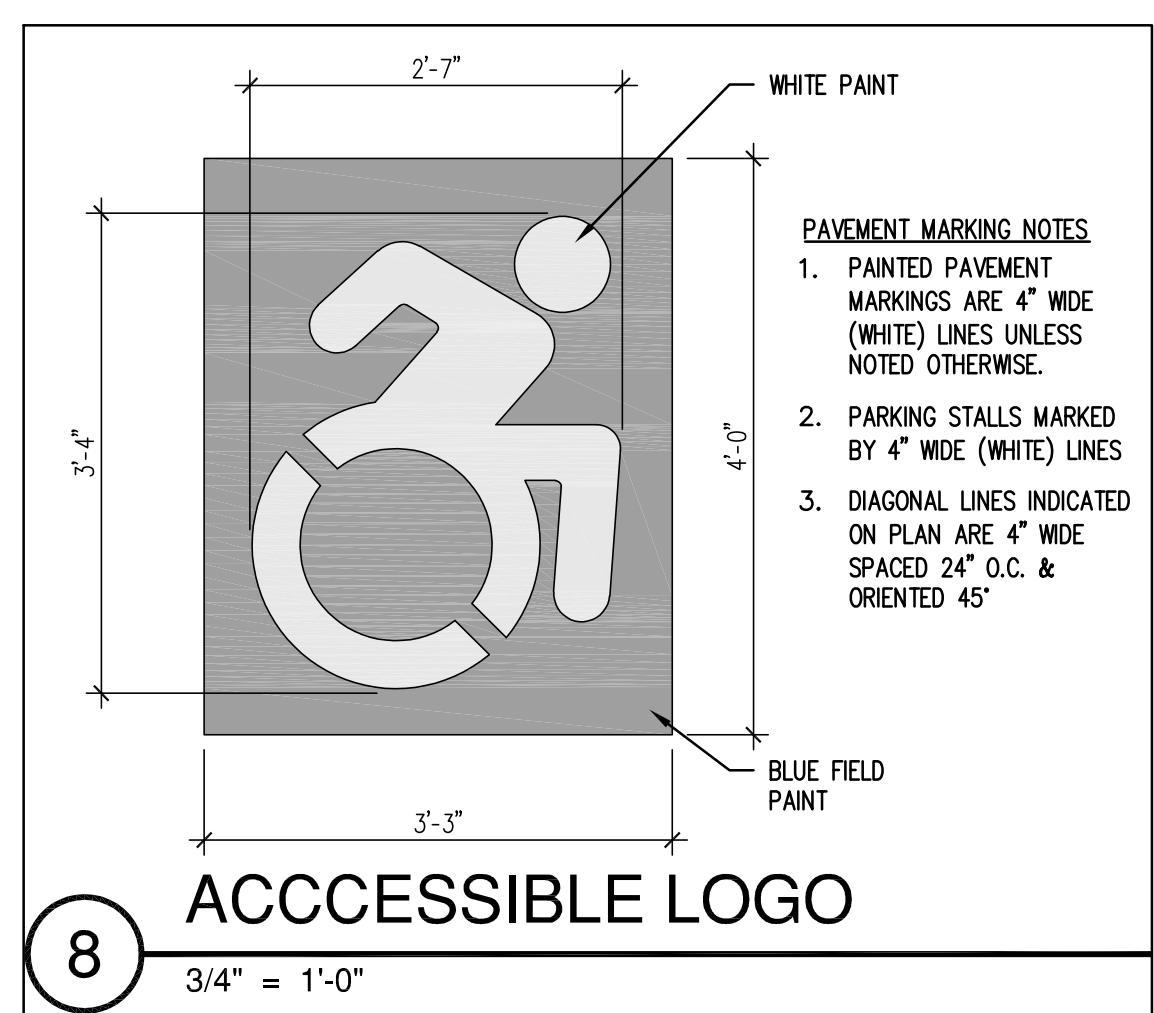
ED

10 of 10

100

1

Z-26-21



Drawn by: <b>MPP</b>	Checked by: <b>RJS</b>	
Date: <b>01-09-2026</b>	Scale: <b>AS NOTED</b>	
Revisions:		
Number:	Date:	By:
 1		
 2		
 3		
 4		
Sheet Title: <b>ENLARGED SITE PLANS AND DETAILS</b>		
Sheet No: <b>L1.2</b>		
Job No: <b>2514 A</b>		

Z-26-27

© 2024 MOODY NOLAN INC.

## Recreation Center

(2 Story Brick Building)

## RECREATION CENTER BUILDING ADDITION

STRUCTURAL PA  
SEE STRUCTURAL

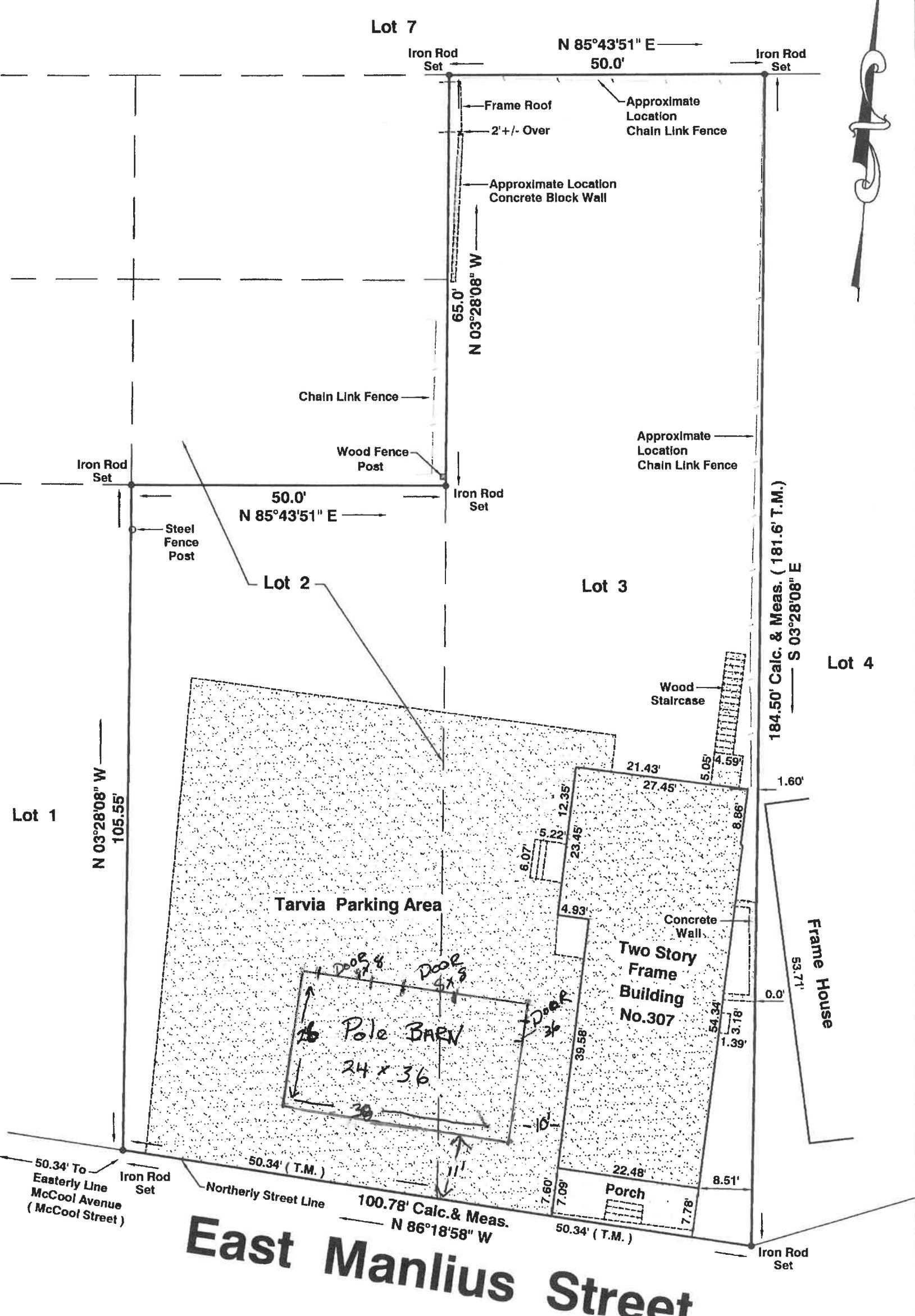
REVIT VERSION: 0000  
PRINT DATE: 4/23/2007 9:48:45 AM

## REC CENTER ADDITION- SITE LAYOUT PLAN

A scale bar with a compass rose at the top left. The scale is marked from 0 to 30 feet in increments of 5. The text "SCALE IN FEET" is centered below the scale.

L007

## PERMIT SET



**37 First Street, Camillus, New York 13031**  
**Email: [irlandsurveying@aol.com](mailto:irlandsurveying@aol.com)**

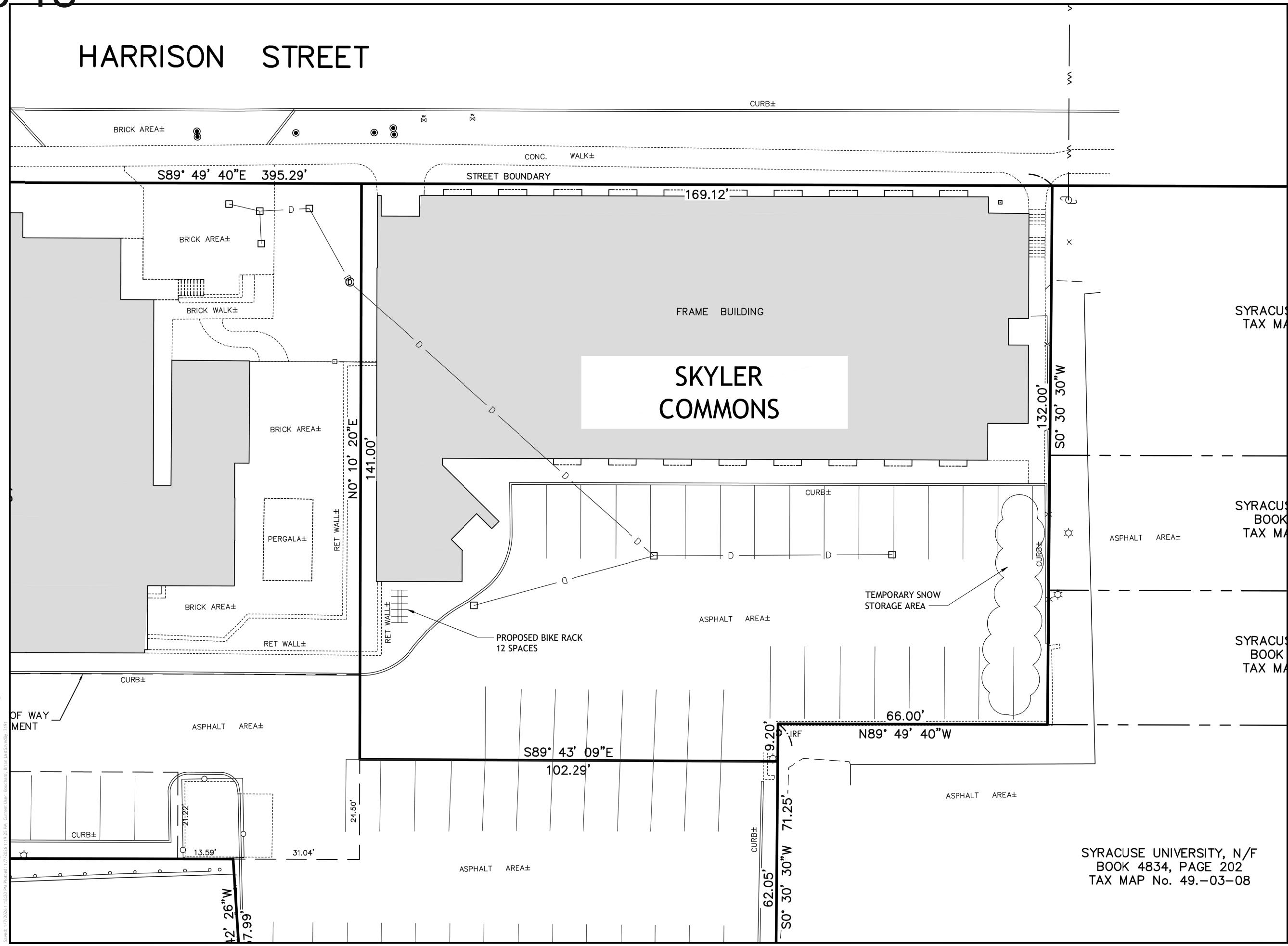
J.R.L. Land Surveying PLLC

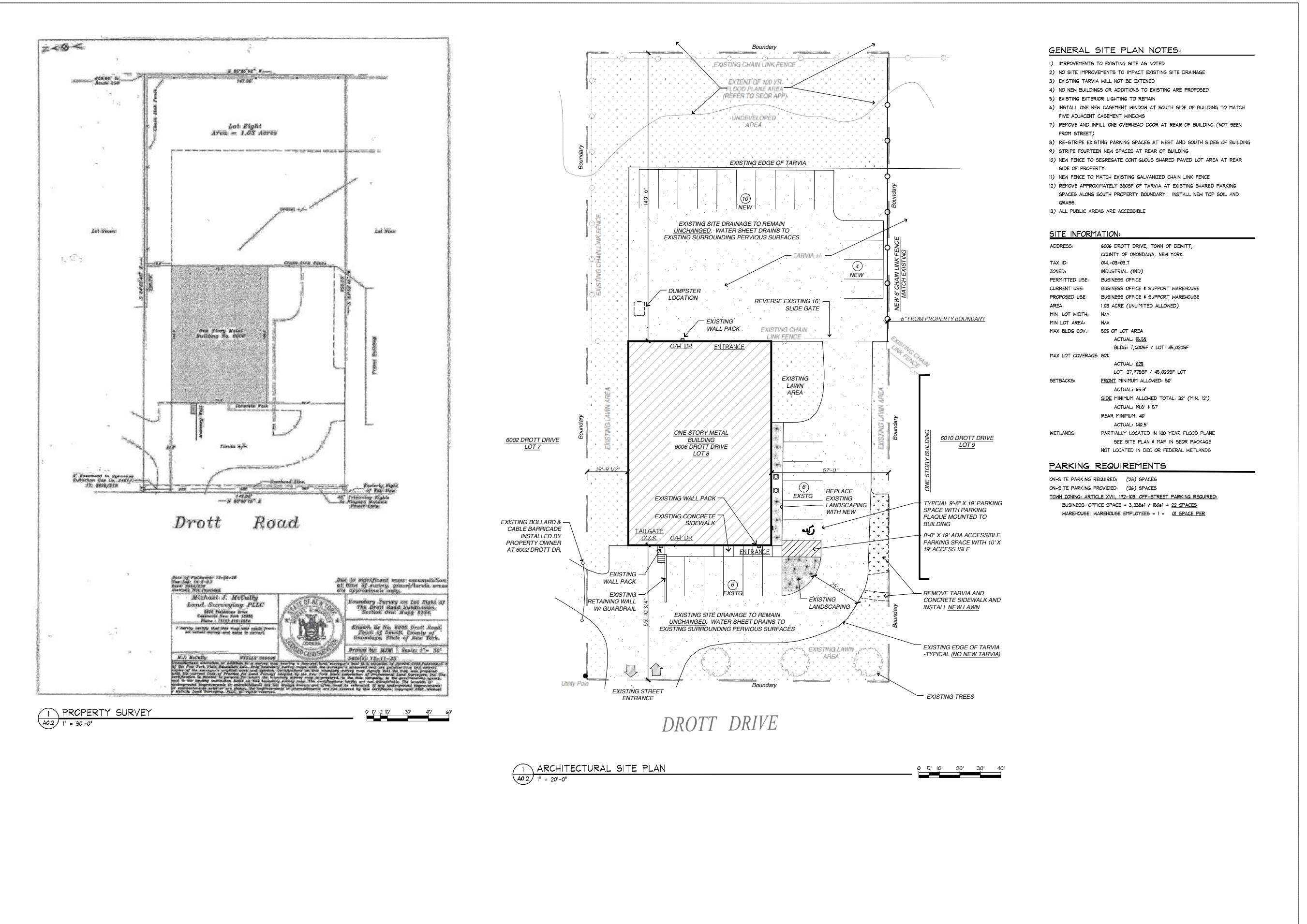
Phone: ( 315 ) 263-9621  
Fax: ( 315 ) 320-4298

James Richard Lighton New York State Licensed Land Surveyor #50606

<p>I hereby certify that this map was made from an actual survey and same is correct. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law. Only copies from the original of this survey marked with an original of the land surveyor's inked seal or his embossed seal shall be considered to be true valid copies. Certifications shall run only to the person or entities for whom the survey is prepared and are not transferable to subsequent persons or entities. Copyright 2021, JRL Land Surveying PLLC.</p>	
<p><b>JRL</b></p>	
<p>Location Survey on Lot No.3 and part of Lot No.2 - Block No.26 A. D. Ellis Tract, Amended, Filed April 3, 1886 - Map #437 Known as No.307 East Manlius Street, Village of East Syracuse, County of Onondaga, State of New York. Scale: 1"= 20'      Date: 09-01-21      Drawn By: JRL Revisions:</p>	

# HARRISON STREET



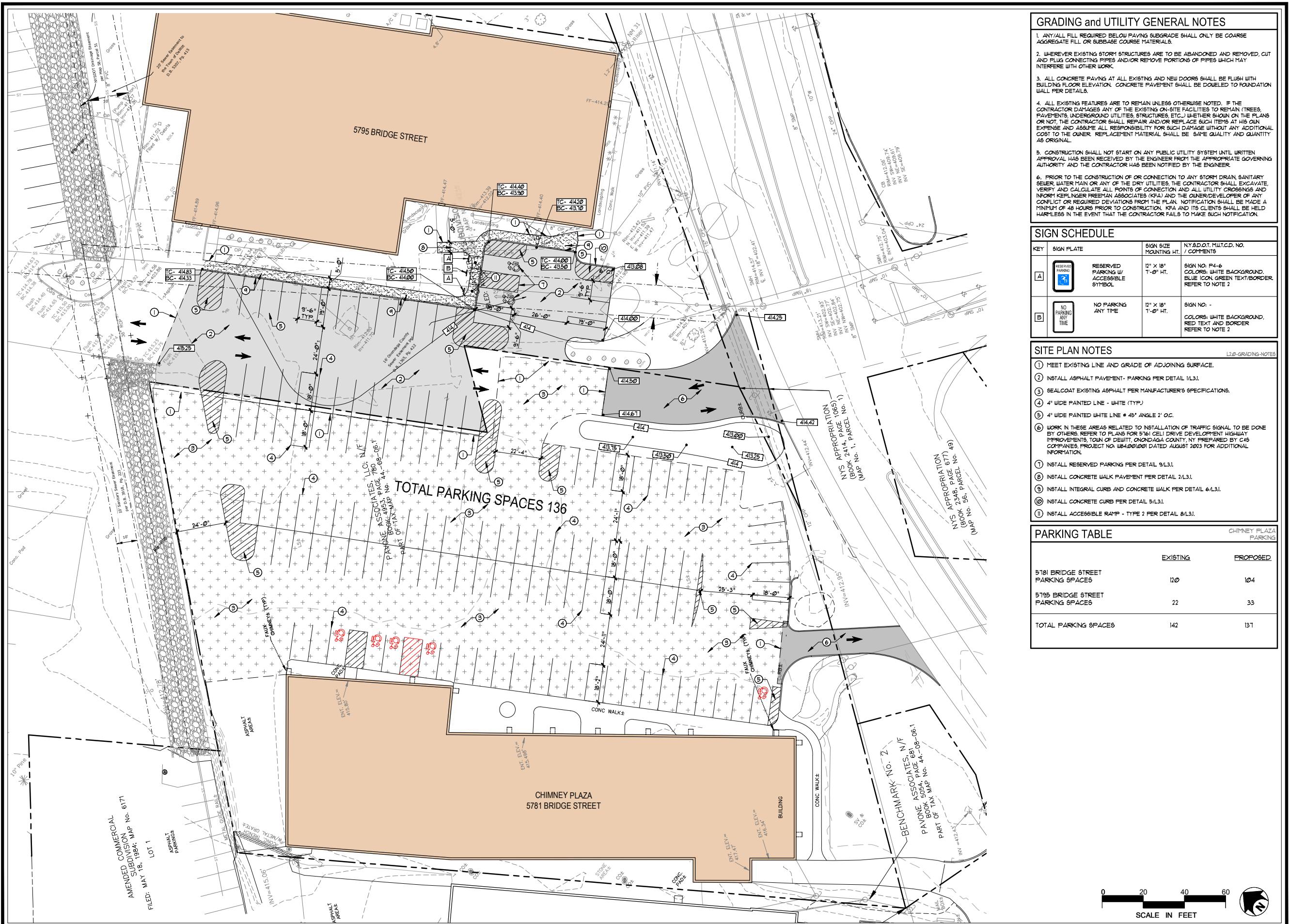


PROJECT NAME:  
PRESENTATION CONCEPTS CORP.  
Alterations

PROJECT ADDRESS:  
6006 Drott Drive  
DeWitt, New York

A0.2

Copyright JM Owen Design, Inc 2025



## CHIMNEY PLAZA PARKING RENOVATIONS 5781 and 5795 Bridge Street EAST SYRACUSE, New York

**KFA** KEPPLINGER  
FREEMAN  
ASSOCIATES  
LANDSCAPE ARCHITECTURE & LAND PLANNING  
620 RY ROAD SUITE 109 EAST SYRACUSE, NEW YORK 13057  
PHONE: (315) 455-7981 FAX: (315) 455-7981  
**R2 Engineering, PLLC**  
620 RY ROAD SUITE 109  
EAST SYRACUSE, NY 13057  
PH: 315.457.0899 FAX: 315.455.7981



Client:  
**CHIMNEY PLAZA**  
5781 BRIDGE STREET  
EAST SYRACUSE, NY